

Planning Committee

Wednesday 2 June 2021 at 6.30pm

Council Chamber

Runnymede Civic Centre, Addlestone

Members of the Committee

Councillors: M Willingale (Chairman), P.Snow (Vice-Chairman), D Anderson-Bassey, J Broadhead, D A Cotty, R Edis, L. Gillham, M Kusneraitis, M Maddox, C Mann, I Mullens, M Nuti J Sohi, S Whyte and J Wilson.

In accordance with Standing Order 29.1, any Member of the Council may attend the meeting of this Committee, but may speak only with the permission of the Chairman of the committee, if they are not a member of this Committee.

AGENDA

Notes:

- 1) **The following Measures to comply with current Covid guidelines are in place:**
 - **restricting the number of people that can be in the Council Chamber to 24**
 - **temperature check via the undercroft for Members/Officers and Main Reception for the public**
 - **NHS track and trace register, app scan is next to the temperature check**
 - **masks to be worn when moving around the offices**
 - **masks can be kept on whilst sitting in the Council Chamber if individuals wish**
 - **use of hand sanitisers positioned outside and inside the Council Chamber**
 - **increased ventilation inside the Council Chamber**
- 2) Any report on the Agenda involving confidential information (as defined by section 100A(3) of the Local Government Act 1972) must be discussed in private. Any report involving exempt information (as defined by section 100I of the Local Government Act 1972), whether it appears in Part 1 or Part 2 below, may be

discussed in private but only if the Committee so resolves.

- 3) The relevant 'background papers' are listed after each report in Part 1. Enquiries about any of the Agenda reports and background papers should be directed in the first instance to
**Mr B A Fleckney, Democratic Services Section, Law and Governance
Business Centre, Runnymede Civic Centre, Station Road, Addlestone (Tel:
Direct Line: 01932 425620). (Email: bernard.fleckney@runnymede.gov.uk).**
- 4) Agendas and Minutes are available on a subscription basis. For details, please ring Mr B A Fleckney on 01932 425620. Agendas and Minutes for all the Council's Committees may also be viewed on www.runnymede.gov.uk.
- 5) Public speaking on planning applications only is allowed at the Planning Committee. An objector who wishes to speak must make a written request by noon on the Monday of the week of the Planning Committee meeting. Any persons wishing to speak should email publicspeaking@runnymede.gov.uk
- 6) In the unlikely event of an alarm sounding, members of the public should leave the building immediately, either using the staircase leading from the public gallery or following other instructions as appropriate.
- 7) **Filming, Audio-Recording, Photography, Tweeting and Blogging of Meetings**

Members of the public are permitted to film, audio record, take photographs or make use of social media (tweet/blog) at Council and Committee meetings provided that this does not disturb the business of the meeting. If you wish to film a particular meeting, please liaise with the Council Officer listed on the front of the Agenda prior to the start of the meeting so that the Chairman is aware and those attending the meeting can be made aware of any filming taking place.

Filming should be limited to the formal meeting area and not extend to those in the public seating area.

The Chairman will make the final decision on all matters of dispute in regard to the use of social media audio-recording, photography and filming in the Committee meeting.

LIST OF MATTERS FOR CONSIDERATION

PART I

Matters in respect of which reports have been made available for public inspection

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Item No.	APPLICATION NUMBER	LOCATION	Page
5A	RU.20/0405	CABI, Bakeham Lane, Egham	15
5B	RU.21/0189	Krome House, Station Road, Addlestone	39
5C	RU.20/0874	St Johns Church, Egham	45
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**PLEASE BE AWARE THAT THE PLANS PROVIDED WITHIN THIS AGENDA ARE FOR
LOCATIONAL PURPOSES ONLY AND MAY NOT SHOW RECENT EXTENSIONS AND
ALTERATIONS THAT HAVE NOT YET BEEN RECORDED BY THE ORDNANCE SURVEY**

7. EXCLUSION OF PRESS AND PUBLIC	13
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PART II

Matters involving Exempt or Confidential Information in respect of which reports have not been made available for public inspection

a) **Exempt Information**

No reports to be considered.

b) **Confidential Information**

No reports to be considered.

GLOSSARY OF TERMS AND ABBREVIATIONS

TERM	EXPLANATION
AOD	Above Ordnance Datum. Height, in metres, above a fixed point. Used to assess matters of comparative heights in long distance views and flooding modelling
AQMA	Air Quality Management Area
BCN	Breach of Condition Notice. Formal enforcement action to secure compliance with a valid condition
CHA	County Highways Authority. Responsible for offering advice on highways issues relating to planning applications as well as highways maintenance and improvement
CIL	Community Infrastructure Levy – A national levy on development which will replace contributions under 'Planning Obligations' in the future
CLEUD	Certificate of Lawful Existing Use or Development. Formal procedure to ascertain whether a development which does not have planning permission is immune from enforcement action
CLOPUD	Certificate of Lawful Proposed Use or Development. Formal procedure to ascertain whether a development requires planning permission
Conservation Area	An area of special architectural or historic interest designated due to factors such as the layout of buildings, boundaries, characteristic materials, vistas and open spaces
DM	Development Management – the area of planning service that processes planning applications, planning appeals and enforcement work
Design and Access Statement	A Design and Access statement is submitted with a planning application and sets out the design principles that the applicant has adopted to make the proposal fit into its wider context
Development Plan	The combined policy documents of the Local Plan, Minerals and Waste Plans
EA	Environment Agency. Lead government agency advising on flooding and pollution control
EIA	Environmental Impact Assessment – formal environmental assessment of specific categories of development proposals
ES	Environmental Assessment under the Environmental Impact Assessment Regulations
FRA	Flood Risk Assessment
GPDO	General Permitted Development Order. Document which sets out categories of permitted development (see 'PD')
LBC	Listed Building Consent
LDS	Local Development Scheme - sets out the programme and timetable for preparing the new Local Plan
Listed building	An individual building or group of buildings which require a level of protection due to its architectural interest, historical interest, historical associations or group value
LNR	Local Nature Reserve
Local Plan	The current planning policy document
LPA	Local Planning Authority
LSP	Local Strategic Partnership – Leads on the Community Strategy
Material Considerations	Matters which are relevant in determining planning applications
Net Density	The density of a housing development excluding major distributor roads, primary schools, open spaces serving a wider area and significant landscape buffer strips
NPPF	National Planning Policy Framework. This is Policy, hosted on a dedicated website, issued by the Secretary of State detailing national planning policy within existing legislation
PCN	Planning Contravention Notice. Formal notice, which requires information to be provided in connection with an enforcement investigation. It does not in itself constitute enforcement action
PD	Permitted development – works which can be undertaken without the need to submit a planning application
PINS	Planning Inspectorate
POS	Public Open Space
PPG	National Planning Practice Guidance. This is guidance, hosted on a

TERM	EXPLANATION
	dedicated website, issued by the Secretary of State detailing national planning practice and guidance within existing legislation. Also known as NPPG <i>National Planning Practice Guidance</i>
Ramsar Site	A wetland of international importance
RIPA	Regulation of Investigatory Powers Act. Provides limitation on covert surveillance relating to enforcement investigation
SAC	Special Area of Conservation – an SSSI additionally designated as a Special Area of Conservation under the European Community's Habitats Directive 1992 in order to maintain or restore priority natural habitats and wild species
SANGS	Suitable Alternative Natural Greenspaces
SAMM	Strategic Access Management and Monitoring
SCI	Statement of Community Involvement. The document and policies that indicate how the community will be engaged in the preparation of the new Local Plan
SEA/SA	Strategic Environmental Assessment/Sustainability Appraisal – formal appraisal of the Local development Framework
Sec. 106	A legal agreement for the provision of facilities and/or infrastructure either directly by a developer or through a financial contribution, to meet the needs arising out of a development. Can also prevent certain matters
SEP	The South East Plan. The largely repealed Regional Spatial Strategy for the South East. All policies in this Plan were repealed in March 2013 with the exception of NRM6 which dealt with the Thames Basin Heath SPA
SNCI	Site of Nature Conservation Importance. A non-statutory designated area of county or regional wildlife value
SPA	Special Protection Area. An SSSI additionally designated a Special Protection Area under the European Community's Directive on the Conservation of Wild Birds 1979. The largest influence on the Borough is the Thames Basin Heath SPA (often referred to as the TBH SPA)
SPD	Supplementary Planning Document – provides additional advice on policies in Local Development Framework (replaces SPG)
SSSI	Site of Special Scientific Interest
SuDS	Sustainable Urban Drainage Systems. Providing urban drainage systems in a more environmentally sensitive way by systems designed to reduce the quantity of run-off, slow its velocity or provide for filtering, sedimentation and biological degradation of the water
Sustainable Development	Sustainable development is the core principle underpinning planning. It is defined as "development that meets the needs of the present without compromising the ability of future generations to meet their own needs"
TA	Transport Assessment – assessment of the traffic and transportation implications of a development proposal
TPO	Tree Preservation Order – where a tree or trees are formally protected and prior consent is needed for pruning or felling
TRICS	Computerised database and trip rate analysis used to estimate traffic flows to and from a variety of land uses, to assess transportation implications of new development in southern England
Use Classes Order	Document which lists classes of use and permits certain changes between uses without the need for planning permission
Further definitions can be found in Annex 2 of the NPPF	

1. FIRE PRECAUTIONS

The Chairman will read the Fire Precautions, which set out the procedures to be followed in the event of fire or other emergency.

2. NOTIFICATION OF CHANGES TO COMMITTEE MEMBERSHIP

3. MINUTES

To confirm and sign the Minutes of the meeting of the Committee held on 14 April 2021 as a correct record (Appendix 'A')

(To resolve)

Background Papers

None

Runnymede Borough CouncilPLANNING COMMITTEE14 April 2021 at 6.30pm via MS Teams

Members of
Committee present

Councillors MWillingale (Chairman),
J Broadhead, I Chaudhri, MCressey,
L Gillham, C Howorth, R King, M Kusneraitis, M Maddox,
I Mullens, P Snow, J Sohi, S Whyte
and J Wilson

Members of the
Committee absent:

Councillor M Nuti

Councillors D Clarke, E Gill, J Olorenshaw and N Prescott also attended for all or part of the meeting via MS Teams as non-members of the Committee.

528 HRH PRINCE PHILIP

The Chairman called for a one minute silence in memory of HRH Prince Philip who had recently passed away.

529 NOTIFICATION OF CHANGES TO COMMITTEEMEMBERSHIP

The Group mentioned below had notified the Chief Executive of their wish that the change listed below be made to the membership of the Committee. The change was for a fixed period ending on the day after the meeting and thereafter the Councillor removed would be reappointed.

<u>Group</u>	<u>Remove</u>	<u>Appoint instead</u>
Conservative	Cllr Anderson- Bassey	Cllr Maddox

The Chief Executive had given effect to the change to Committee membership in accordance with section 16(2) of the Local Government and Housing Act 1989

530 MINUTES

The Minutes of the meeting of the Committee held on 24 March 2021 were confirmed and signed as a correct record.

531 APOLOGIES FOR ABSENCE

Apologies were received from Councillor Nuti.

532 DECLARATIONS OF INTEREST

No interests declared.

533 PLANNING APPLICATIONS

The planning applications listed below were considered by the Committee. All representations received on the applications were reported and copies had been made available for inspection

by Members before the meeting. The Addendum had also been published on the Council's website on the day of the meeting.

RESOLVED that –

the following applications be determined as indicated: -

<u>APP NO</u>	<u>LOCATION, PROPOSAL AND DECISION</u>
RU 19/1659	<p>Runnymede Hotel and Spa, Windsor Road, Old Windsor, Egham</p> <p>Extension to West Wing of hotel to create additional bedrooms (Use Class C1) and associated parking.</p> <p><i>Some comment was made on overlooking of the lock keepers cottage, the lack of reference to impact on Green Belt in the report in relation to compliance with Local Plan Policy IE4, provision of parking spaces for disabled persons and provision of Electric Charging points in some of those spaces, and surface water drainage associated with the proposed car park .</i></p> <p><i>Officers commented that the proposed development would not be extending any closer to the lock keepers cottage than the existing hotel retaining a separation distance of approx. 15 metres and that occupancy of the rooms would offer similar views that already exist from other parts of the hotel and as such it was considered that the proposed extension would not materially result in new permanent overlooking or the perception of being overlooked given the existing relationship with the hotel.</i></p> <p><i>Green Belt considerations had already been fully addressed in the report and did not require repeat consideration in respect of Policy IE4; the report clearly set out the balancing between the acknowledged harms to the Green Belt with the very special circumstances including job creation and wider economic benefits both given weight in national and local policies, which clearly outweighed that harm, and in all other respects the development aligned with the objectives of Policy IE4. It was then necessary to consider if the particular benefits and circumstances of the application outweighed the harms to the Green Belt, and this was a decision for the Committee as the decision maker.</i></p> <p><i>The CHDMBC confirmed that the applicant had stated that provision would be made for parking for disabled persons and Members agreed that there was ample parking already at the hotel including disabled parking close to the entrance. A Member familiar with the site confirmed that the hotel had a good quantum of well located disabled parking in place already. In light of this, Members did not consider a condition was necessary regarding disabled persons parking provision. The general provision of ECV points had been addressed by condition 14.</i></p> <p><i>With regard to surface water drainage and the choice of materials for the new hardsurfacing, a robust Flood Risk Assessment had been submitted and the EA had raised no objection to the scheme subject to a condition (No 10) requiring the development to be carried out in accordance with the mitigation measures identified in that Assessment. In addition, Condition 7 also required details of surface water drainage to be submitted for approval before commencement of construction of the development.</i></p>

RESOLVED that-

The CHDMBC be authorised to GRANT permission subject to conditions, reasons and informatives listed on agenda.

RU 21/0243

Hawthorne, Ten Acre Lane, Egham

Retrospective application for a replacement garage (partially complete)
Demolition of existing modular garage.

The Committee fully supported the application and no new salient planning points were raised by Members.

RESOLVED that:

The CHDMBC be authorised to GRANT permission subject to conditions, reasons and informatives listed on agenda.

RU 21/0137

61 Farleigh Road, New Haw, Addlestone

Proposed single storey front, side and rear extension following removal of existing rear extension. New roof containing habitable accommodation with side box dormer and roof lights.

In response to a comment from a Member regarding the roof design ,Officers confirmed that the inclusion of a ridge on the roof was in character with the area and would not harmfully impact on the appearance of the dwelling or impact on the streetscene and complied with Local Plan Policy EE1 in this respect.

The Committee supported the application.

RESOLVED that-

The CHDMBC be authorised to GRANT planning permission subject to conditions, reasons and informative listed on the agenda.

(Mr Pope, an objector, requested that the Council's Legal representative read out his objection and Mr R Butler, the applicant, addressed the Committee on the above application.)

RU 20/1256

34 Moorfields Close, Staines-upon Thames

Garden outbuilding to provide ancillary accommodation (BBQ area).

Some comment was made on potential conversion of building into habitable accommodation and possibility of imposition of a condition to prevent such conversion.

The CHDMBC stated that a condition was not appropriate as the building could lawfully be used for purposes ancillary to the main residential use. The Committee accepted this advice.

The Committee supported the application.

RESOLVED that-

**The CHDMBC be authorised to GRANT
permission subject to conditions, reasons
and informative listed on agenda**

534 PARKING GUIDANCE SUPPLEMENTARY PLANNING DOCUMENT (SPD) NEXT STEPS

The Committee considered the potential next steps to move forward the Parking Supplementary Planning Document (SPD)

At the Planning Committee meeting on 4 November 2020 the Committee had deferred approval of the draft Parking Guidance SPD for public consultation in order to allow Officers to further review, in conjunction with Members, the proposed parking standards relating to student accommodation and office accommodation over which Members had expressed strong concerns .

Since that meeting, Officers had undertaken a benchmarking exercise of student and office accommodation in other Local Authority areas, the findings of which and a series of possible options setting out the pros and cons for each were discussed with members of the Planning Committee at a special working group meeting held in December 2020. The steer given to Officers at that meeting was that they should prepare a specification for tender to secure transport consultancy support to help gather robust evidence on which a parking standard(s) for purpose-built student accommodation might be based. In addition, Officers were also asked to seek transport consultancy advice on office parking standards.

Informal quotes had been obtained from transport consultancy firms which were reported and these indicated that a budget of £20,000 would need to be secured for the required transport consultancy support. No budgetary provision had originally been made in the 2021/22 budget for transport consultancy to support the production of the Parking SPD. The budget for the 2021/22 financial year (including monies which were to be requested to be carried over from the 2020/21 financial year) had been allocated to essential updates to the Local Plan evidence base to underpin the review of the Runnymede 2030 Local Plan and other committed projects (such as the Englefield Green Conservation Area Appraisal and Blue and Green Infrastructure SPD; both of which were already commissioned and the projects underway). A large chunk of the Local Plan evidence base needed to be updated by the end of the 2021/22 financial year in order to enable the review and update of the Local Plan to be completed within the 5-year period required by the NPPF.

However, the Committee was informed that following the publication of the Planning Committee agenda, the Chief Executive had confirmed that the £20,000 addition to the Planning Policy budget could be met from his Community Initiatives Fund which was held in the Corporate Management Committee budget. As this transfer would be for over £10,000, under Financial Regulations, the approval of the Corporate Management Committee would be required.

Support for the expenditure among Members was finely balanced. Some Members did not consider the expenditure was justified whilst other Members considered it was the preferred way forward in order to address concerns of residents and give greater clarity to developers and residents.

Following a full debate, the Committee decided to request Officers to seek approval from Corporate Management Committee to enable the Planning Policy team to secure the services of a Transport Consultancy firm to underpin a locally derived and robustly evidenced parking standard for both Purpose Built Student Accommodation and Office Accommodation.

If approved by Corporate Management Committee, Officers would prepare a detailed tender specification and share it with members of Planning Committee prior to commencement of

the formal tender exercise. The specification would cover Englefield Green and Egham areas. Members stated that the timing of the evidence gathering was important to gain an accurate position post Covid and to reflect the numbers of students returning to Royal Holloway University. A provisional timetable for the remainder of the Parking SPD project if approved and subject to agreement with the appointed consultant, was noted. Officers would engage with Members throughout the process. Finally, Members noted from the report that the findings of any independent professional transport consultancy advice sought might not address the concerns raised previously by the Committee.

RESOLVED that:

Corporate Management Committee be requested to approve that an additional £20,000 be provided to the Planning Policy budget for the 2021/22 financial year via a transfer of budget from the Chief Executive's Community Initiatives Fund to allow transport consultancy support to be procured to help underpin a locally derived and robustly evidenced parking standard(s) for:

- a) Purpose Built Student Accommodation (PBSA); and**
- b) Office accommodation**

Under Standing Order 39.2 a request was made by Cllr Kusneraitis for the names of those voting on the above- mentioned matter to be recorded and the voting was as follows:

For (7): Councillors Broadhead, Howorth, King, Kusneraitis, Maddox, Sohi and Willingale.

Against (6): Councillors Cressey, Gillham, Mullens, Snow, Whyte and Wilson.

Abstentions: (0)

535 THAMES BASIN HEATHS SPECIAL PROTECTION AREA SUPPLEMENTARY PLANNING DOCUMENT (SPD) - ADOPTION

The Committee received and considered the updated Thames Basin Heaths SPA SPD setting out the avoidance and mitigation measures required to prevent development causing significant adverse impact on the Thames Basin Heaths Special Protection Area (SPA.). The SPD updated the existing Thames Basin Heaths SPA Supplementary Planning Guidance (2009) and took into account advice that had been issued since the 2009 SPG was adopted.

The main change to the guidance involved moving from a dwelling based to an occupancy based financial contribution. The draft SPD had been subject to public consultation from 30 November 2020 to 18 January 2021 and a total of 10 representations had been received, a summary of which and Officer response thereon had been placed on the website. Following consultation and other material considerations a number of modifications were proposed to the SPD for clarification as set out below:

- Description of protected sites amended to reflect UK exiting the EU;
- Occupancy of C2 or C3 care homes and student accommodation to be considered on an individual basis under advice from NaturalEngland;
- Clarification that only net additional dwellings in class C3 give rise to effects on the SPA and deletion of reference to replacement dwellings and extensions;
- Clarification that prior approvals cannot proceed and will not be assigned SANG until written agreement under the Habitats Regulations is given by the Council;
- Occupancy rate for Traveller pitches added to guide SANG/SAMM contributions from Travellersites;

- Confirmation that the SAMM contribution includes the uplift agreed by the TBH Joint Strategic Planning Board on 19 November 2020 to account for inflation since 2010;
- Clarification for contributions made by instalments;
- Further detail added to confirm that where occupancy is unknown at the time of application the Council may apply a formula based approach similar to the approach in the Infrastructure Delivery & Prioritisation SPD;
- Criteria added to SANG design guidance to confirm that it will be expected that access points will be designed to be accessible to those using mobility scooters and that a proportion of SANG parking should be disabled parking bays.
- Amending SANG rates in Tables 7 & 9 to 2 decimal places rather than rounding numbers to ensure accuracy.

The above-mentioned modifications were not considered significant in nature and further consultation was not warranted. As such, the SPD as modified was recommended for adoption with an implementation date of 15 April 2021.

The change of most significance related to the current approach to calculation and collection of SANG and SAMM payments (on a per unit basis) which did not adequately address the potential increase in residents within the vicinity of the SPA. To ensure that the strategy was more equitable in better reflecting the impacts from larger homes on the SPA, it was proposed to alter the approach to calculating developer contributions from a dwelling to an occupancy based tariff. This would align the Council's strategy with that of the other local authorities affected by the Thames Basin Heaths. The strategy set out in the SPD would also help to ensure that SANGs were delivered appropriately within the Borough and were managed and maintained in perpetuity, in accordance with Natural England's guidance.

The Committee supported the adoption of the modified SPD and Members were pleased that the Guidelines for creation of SANGS now required access points to be designed so that access by those persons using a mobility scooter or similar was achievable, and provision of disabled parking bays.

Officers offered to provide more information on terminology used in section 3 on Care Homes and on the range of criteria against which student accommodation would be assessed but Members did not wish any amendment to be made to the SPD in this regard.

RESOLVED that

the draft Thames Basin Heaths Special Protection Area SPD, as modified and reported, be APPROVED for adoption with an implementation date of 15 April 2021

(The meeting ended at 8.53pm)

Chairman

4. APOLOGIES FOR ABSENCE

5. DECLARATIONS OF INTEREST

If Members have an interest in an item please record the interest on the form circulated with this Agenda and hand it to the Legal Representative or Democratic Services Officer at the start of the meeting. A supply of the form will also be available from the Democratic Services Officer at meetings.

Members are advised to contact the Council's Legal section prior to the meeting if they wish to seek advice on a potential interest.

Members are reminded that a registrable interest includes their appointment by the Council as the Council's representative to an outside body. Membership of an outside body in their private capacity as a trustee, committee member or in another position of influence thereon should also be declared. Any directorship whether paid or unpaid should be regarded as a disclosable pecuniary interest, and declared.

Members who have previously declared interests which are recorded in the Minutes to be considered at this meeting need not repeat the declaration when attending the meeting. Members need take no further action unless the item in which they have an interest becomes the subject of debate, in which event the Member must leave the room if the interest is a disclosable pecuniary interest or other registrable interest and/or the interest could reasonably be regarded as so significant as to prejudice the Member's judgement of the public interest.

6. PLANNING APPLICATIONS

The planning applications to be determined by the Committee are attached. Officers' recommendations are included in the application reports. Please be aware that the plans provided within this agenda are for locational purposes only and may not show recent extensions and alterations that have not yet been recorded by the Ordnance Survey.

If Members have particular queries on the applications, please contact Ashley Smith, Corporate Head of Development Management and Building Control by 31 May, 2021.

Copies of all letters of representation are available for Members and the public to view on the Planning pages of the Council website
<http://planning.runnymede.gov.uk/Northgate/PlanningExplorer/GeneralSearch.aspx>.

Enter the planning application number you are interested in, and click on documents, and you will see all the representations received as well as the application documents.

(To resolve)

Background Papers

A list of background papers is available from the Planning Business Centre.

7. EXCLUSION OF PRESS AND PUBLIC

If the Committee is minded to consider any of the foregoing reports in private –

OFFICERS' RECOMMENDATION that -

the press and public be excluded from the meeting during discussion of the appropriate reports under Section 100A(4) of the Local Government Act 1972 on the grounds that the reports in question would be likely to involve disclosure of exempt information of the description specified in appropriate paragraph of Schedule 12A of the Act.

(To resolve)

PART II

Matters involving Exempt or Confidential information in respect of which reports have not been made available for public inspection.

Para

a) **Exempt Information**

No reports to be considered.

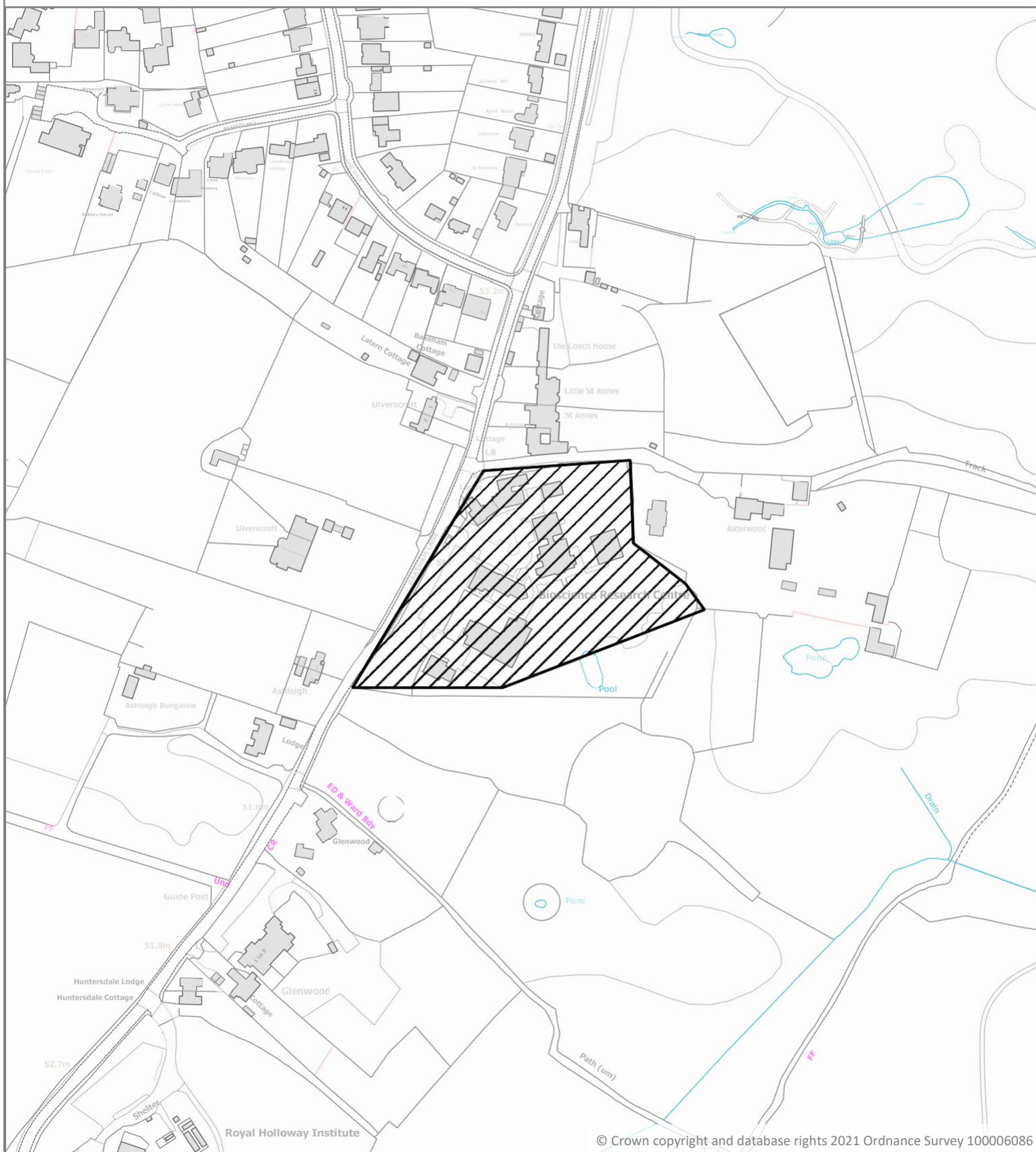
b) **Confidential Information**

No reports to be considered.

Date: 02/06/2021

FOR LOCATION PURPOSES ONLY

**Cabi Bioscience UK Centre, Alderhurst, Bakeham Lane,
Egham**



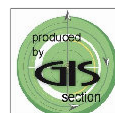
© Crown copyright and database rights 2021 Ordnance Survey 100006086

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0 60 120 m

RU.20/0405

15



APPLICATION REF:	RU.20/0405
LOCATION	CABI Bakeham Lane Englefield Green Egham TW20 9TY
PROPOSAL	Demolition of existing buildings and redevelopment to provide 28 new homes together with associated open space, access and parking and landscaping (amended description to reflect reduce no. of dwellings and amended plans received 11/02/2021)
TYPE	Full Planning Permission
EXPIRY DATE	12 June 2020
WARD	Englefield Green East
CASE OFFICER	Melissa Gale
REASON FOR COMMITTEE DETERMINATION	Delegated authority not available as it is a major application.
<i>If you have questions about this report please contact Ashley Smith, Christine Kelso or the case officer.</i>	

1. SUMMARY OF RECOMMENDATION

It is recommended the Planning Committee authorises the CHDMBC:	
1.	To Grant planning permission subject to S106 and conditions

2. DETAILS OF THE SITE AND ITSSURROUNDINGS

- 2.1 The application site covers a total area of 1.7 hectares and is located on the eastern side of Bakeham Lane to the south of Englefield Green. The site lies within the Green Belt and is currently in use as offices and research centre by the Centre for Agriculture and Bioscience International (CABI). Several buildings currently exist on the site ranging in size and height, up to 3 stories as well as areas of hardstanding including parking. Land levels vary through the site with an open grassed area on lower land level towards the east of the site. There is a single point of access onto Bakeham Lane and the road frontage is well screened with mature trees and planting. A number of mature trees exist within the site including a group of Oak trees although there are no Tree Preservation Orders affecting the site.
- 2.2 Detached residential properties are located opposite the site and to the north and to the east/rear of the site. To the south and south-east the site is bounded by an area of woodland. A driveway extends along the northern boundary of the site providing access to the residential property of Alderwood, a detached dwelling set in large grounds which abut the north-east boundary of the site. A public footpath (FP41) extends from Bakeham Lane along the driveway to the north of the site linking to a wider network of footpaths. The site also lies within 5km of the Thames Basin Heath SPA, and parts of the site fronting Bakeham Lane and towards the south of the site fall within a designated Priority habitat. A large proportion of the site also lie within an area of high Archaeological Potential which includes a wider area incorporating land to the north west.

3. APPLICATION DETAILS

- 3.1 Full planning permission is sought for the demolition of existing buildings and the redevelopment of the site to provide 28 new homes together with associated open space, access and parking and landscaping. It is proposed that 13 of the dwellings would be affordable 39%. Access would be from the existing vehicular access onto Bakeham Lane. The application has been amended since originally submitted which includes a revision to the layout and design of a number of the units and providing

increased separation to the site boundaries. This has resulted in a reduction in the total number of dwellings proposed from 33 originally proposed to 28 dwelling units.

- 3.2 The application proposes a mixture of dwelling types and sizes including detached, semi-detached and terraced properties, two storey and single storey dwellings and apartments. Towards the eastern boundary of the site 4 single storey bungalows are proposed (2 no. detached and a pair of semi-detached bungalows), central to the site and with an outlook over the open space and play area to the south-east of the site are two 2 ½ storey apartment blocks with the second floor flats set within the roofspace. The apartments would have a maximum ridge height of 9.2m. each comprising a total of 6 flats each. Communal open spaces are proposed around the site including an informal equipped play area.
- 3.3 The applicant has submitted a number of supporting documents with the application including Planning Statement, Design and Access Statement, a Flood Risk Assessment and Drainage Strategy, Transport Statement, Sustainability and Energy Statement, Arboricultural Assessment, Desk Based Archaeological Assessment, Phase 1 Site Investigation Report, Landscape Design Statement together with Landscape Character and Visual Assessment. Additional Ecology information has been provided and several of these documents have been updated to have regard to the recent amendments to the scheme including an updated Ecological Appraisal which follows an up to date walk over survey of the site. The Appraisal maintains that it is unlikely that the proposals will result in significant harm to biodiversity and opportunity exists to provide a number of biodiversity benefits as part of the scheme.
- 3.4 It is noted that the Planning Statement and Design and Access Statement have not been updated to reflect the change in layout and housing numbers proposed, however key elements have been updated through the covering letter sent with the revised plans. The Transport Assessment has also been updated to reflect the revisions to the scheme. A total of 51 car parking spaces would be provided to serve the development. Each of the apartments would have a parking space plus one visitor space, and for the dwellings, one parking space would be provided for the one bedroom, 2 spaces for the 2 and 3 bedroom units and 3 parking spaces for the 4 bedroom units. In addition, 2 visitor spaces are also proposed. Cycle storage will be provided in the form of sheds and/or garages for the houses and for the apartments this will be through provision of a secure cycle store.

4. RELEVANT PLANNING HISTORY

- 4.1 The site was formerly used in connection with Holloway College following the grant of planning permission in 1962 (EGH.61/7509) and is currently in use as CABI's bio-science research centre. There is extensive planning history relating to the site. The following history is considered relevant to this application:

Reference	Details
RU.08/0206	Erection of detached single storey research greenhouse to the south west of the existing laboratory building for purposes of scientific research. Granted 18/06/2018
RU.00/0363	Three storey extension to existing building to provide offices and laboratories for purposes of scientific research. Granted 19/06/2020
RU.98/0452	Extension to existing glasshouse and connection to existing laboratory. Granted 05/02/1999
RU.91/0032	Demolition of the main house extension, Yorkon building and sheds and erection of a 2.5 storey block and herbarium for scientific research. Granted 06/03/1991 This application has been part implemented with 854 sqm of floorspace not constructed to date.

5 SUMMARY OF MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

- 5.1 National Planning Policy Framework and Guidance.
- 5.2 The Runnymede 2030 Local Plan was adopted on 16 July 2020 and the policies have to be read as a whole. Any specific key policies will be referred to in the planning considerations.

- 5.3 SPGs which might be a material consideration in determination:

Thames Basin Heaths SPD April 2021
Infrastructure Delivery and Prioritisation SDP

- 5.4 This site falls within the designated Virginia Water Neighbourhood Area. However a neighbourhood Plan has not been developed yet for this area.

6. CONSULTATIONS CARRIED OUT

6.1 Consultees responses

Consultee	Comments
Affinity Water Ltd	No comments received
Englefield Green Village Neighbourhood Forum	No comments received
NHS	No comments received
RBC Affordable Housing Officer	No objections raised with advise provided on the type of affordable housing needed by Runnymede.
RBC Arboricultural Officer	No objection subject to condition. The amended layout has addressed the previously raised concerns in respect to the removal of T52 and the proximity of building to other retained trees is acceptable. The supplied tree report contains a detailed tree protection plan which includes phasing of the tree protection to accommodate the demolition and construction stages of the development
RBC Contaminated Land Officer	No objection subject to condition
RBC Deputy Direct Services Manager	No comments received
RBC Drainage Engineer	No objection subject to condition
RBC Green Spaces Team	No comments received
SCC Archaeology	No objection subject to condition to secure the Implementation of a programme of archaeological work.
SCC County Highway Authority	No objection subject to conditions
SCC Drainage	No objections subject to conditions
SCC Education	Have responded in respect of Education Infrastructure and S106 contributions sought. Note - CIL has subsequently been adopted and therefore Education contributions will now be secured through CIL.
Surrey Bat Group	Have provided comments on the methodology used for the bat surveys advising that they do not consider the roosts have been adequately characterised to inform the mitigation and compensation proposals.
Surrey Wildlife Trust	Recommend suitable conditions including the requirement to obtain a European Protected Species Licence from Natural England prior to works, and implementation of mitigation and enhancement measures.
Virginia Water Neighbourhood Forum	No comments received
West Surrey Badger Group	Advise that the submitted report includes a good mitigation package and recommends that if works cannot be avoided inside the protection zone, then providing the sett is not in danger of damage, then a disturbance licence is obtained, rather than close the sett temporarily.

Thames Water	No objection if the developer follows the sequential approach to the disposal of surface water. Prior approval from Thames Water is required if discharge to a public sewer is proposed.
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Representations and comments from interested parties

6.2 19 Neighbouring properties were consulted in addition to being advertised on the Council's website and 7 letters of representation have been received from 5 separate properties in regard to the original scheme for 33 dwellings and a first amendment to the scheme. No further letters have been received following the receipt of the current amended plans in February 2021 for 28 dwellings on the site. Letters received can be summarised as follows:

- Suitability of the site was rejected as part of local plan process and should review cumulative impacts of development in Virginia Water and Longcross
- Concern over density proposed, over and above the 25 advanced in the Strategic Housing Land Availability Study.
- Density should be reduced to 25 units, reduced number of units would reduce pressure on ecology, landscaping, trees and highways.
- To accommodate 33 dwellings, more trees than necessary would be removed or within root protection areas putting pressure on trees now and in the future. Impact on mature boundary treatment.
- Development proposed in area where no such buildings previously existed
- Bakeham Lane is a dangerous winding road, consideration should be given to traffic calming measures and improvements for pedestrians and cyclists
- Redevelopment is an opportunity to address existing problems of the narrow and non-continuous pavement along Bakeham Lane opposite the site
- Poor access to and from the site onto a very busy narrow secondary road
- Road speed should be reduced to 30mph
- Loss of trees will impact on openness of the Green Belt and diminish amenity
- Will extend ribbon/linear development along the road eroding village boundaries of Englefield Green and Virginia Water
- Proposed housing will diminish biodiversity. Ponds in area have potential for great crested newts. Ecological surveys and mitigation plans are incomplete. New development should show a net gain in biodiversity.
- Given laboratory facilities still present and the site's academic reputation and legacy, then CABI should be encouraged to remain or to offer site back to Royal Holloway College or similar academic institution rather than demolish the current buildings.
- Why does the plan include a play park, will the site be extended at a later date?
- Question raised as to the value of the affordable housing
- Question raised as to whether the public footpath would remain and not be affected
- Worried about exposure to asbestos and biological waste from the demolition of this bio-research centre and old house. A hazard risk assessment should be done and warnings sent to neighbours before work starts.
- No community consultation has taken place
- No analysis of impact on neighbouring curtilage including sunlight/rights of light
- Restrictive covenant across site limits scope for significant residential development

7. PLANNING CONSIDERATIONS

7.1 In the determination of this application regard must be had to the Development Plan and National policy within the NPPF. The application site is located within the green belt where there is a presumption against inappropriate development. The key planning matters are whether the proposal would constitute inappropriate development and the impact on the openness of the Green Belt, affordable housing provision, impact on character of the area and residential amenities, highway safety and parking, impact on biodiversity including trees and protected species together with the Thames Basin Heaths SPA, flooding and sustainable drainage, as well as any archaeological impacts and land contamination.

7.2 Loss of Employment

The site currently provides employment floorspace which would be lost following the proposed redevelopment of the site. Whilst the site is currently occupied by the Centre for Agriculture and Bioscience International (CABI), they will be re-locating from the site shortly. Whilst Policy IE3 seeks to

support a range of employment floorspace, the site does not lie within a Strategic Employment Area. The nature of the existing buildings and location of the site means that it is not ideal for other office or research and development uses and therefore alternative employment uses for the site are likely to be difficult to secure. Furthermore, through changes in permitted development the Government have accepted the principle of change of use from offices to residential. Whilst the redevelopment of the site will result in a loss of employment use on the site, this has to be balanced against the additional residential dwellings that would be created together with any other benefits of the development.

7.3 Green Belt

The application site falls within the Green Belt. The National Planning Policy Framework 2019 (NPPF) confirms that the Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence. The NPPF advises that a local planning authority should regard the construction of new buildings as inappropriate development within the Green Belt unless the development falls within the exceptions outlined within Paragraph 145 of the guidance. This includes paragraph 145 section (g) as outlined below:

Limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings) which would:

*-not have a greater impact on the openness of the Green Belt than the existing development; or
-not cause substantial harm to the openness of the Green Belt, where the development would reuse previously developed land and contribute to meeting an identified housing need within the area of the local planning authority.*

- 7.4 The applicant is of the opinion that the development proposals would be an appropriate development within the Green Belt on the basis that the development would comply with paragraph 145 section (g) of the NPPF, comprising the complete redevelopment of previously developed land which would have no greater impact the openness of the Green Belt than the existing built form and would not cause any harm to the purposes of the Green Belt. The applicant has provided supporting information within both the 'Planning Statement' and 'Landscape and Visual Impact Assessment' (LVIA) in support of their proposals.

The existing site comprises a number of existing buildings of various height and form together with associated areas of hardstanding and parking and can be considered previously developed land for the purposes of paragraph g. Policy EE17 of the Local Plan set out the considerations to be taken into account when assessing impact on openness. This includes the general height and stories of existing and proposed development and their disposition around the site, existing and proposed floorspace and footprint, existing and proposed hardstanding, the existing and proposed development envelope and amount of undeveloped areas. A comparative table has been provided which illustrates a reduction in both overall footprint by 21% and volume by 31%.

Comparative Figures		
	Footprint (sq m)	Volume (cubic m)
Existing Development	2,417	16,481
Proposed Development	1,899	11,352
Difference	-518	-5,129
Original submission	-423	-4,141

However, despite the notable reduction it is noted that some of the existing buildings include glasshouses and small structures, although even when making allowance for the range of buildings existing on site it is considered that the overall scale of the proposed development would be no greater than existing. The existing figures also do not include an unimplemented part of the 1991 extant permission for additional building on the site. Existing buildings range in height from 3.8m to 11.5m. The two largest buildings on site are 3 stories and have a maximum ridge height of between 11 and 11.5m. This compares to a maximum height for the apartment buildings of 9.2m with the proposed development also including a range of heights including single storey bungalows and two storey houses and therefore ensure that the proposed development is not of any greater prominence as the existing development. The siting of the proposed apartments would be in a similar location as the two existing larger buildings on site and would have a much smaller overall footprint. The proposed development is largely confined to the existing built envelope and hardstanding retaining the green landscape open space to the south-east of the site. Whilst there is an increase in built form towards the north-eastern corner of the site, the development here is in the form of single storey bungalows with hipped roof forms and height to ridge of between 5 and 5.8m. They are off-set by a reduction in built form close to the northern boundary of the site and through the provision of increased green landscape space within the site providing views through to and linking the green space towards the rear/south-east of the site.

The proposed building heights will be no higher than the existing and respect the range of height and built form of the existing development with a range of single storey, two storey and 2 ½ storey development proposed.

- 7.5 For the reasons set out above it can be concluded that the proposed development would have no greater impact on the openness of the Green Belt than the existing development and furthermore would not impact on the purposes of including the land within the Green Belt. In order to ensure that the proposed development does not result in any future impact on the openness of the green belt it is considered appropriate to remove permitted development rights in respect of Class A (extensions) and Class E (outbuildings), which could otherwise result in an increase and spread of development which would undermine the green belt considerations for the redevelopment of the site. Furthermore, this will also safeguard the future protection of trees and having regard to priority habitat designations and protected species. Therefore, the development would be compliant with the NPPF (section 145) and Policy EE17 of the Local Plan.

7.6 Housing Mix and Affordable

The scheme will provide a total of 10 affordable housing units including both for rent and shared ownership. This amounts to a 35.7% provision of affordable housing and includes a mix of 1, 2 and 3 bed properties including dwellings with individual gardens and apartments and therefore accords with the requirements of Policy SL19 and SL20. The details of the mix and tenure of the affordable housing is to be secured through s106. Policy SL19 requires a mix of house type to reflect identified housing need as set out in the Strategic Housing Market Assessment. The proposed development provides a range of house types and sizes including dwellings and apartments across both the market and affordable dwelling units. The mix is broadly in line with current needs reflected in the SHMA. In addition the development has also been designed to meet minimum internal space standards as set out in Policy SL19.

7.7 Design

Development proposals are expected to achieve high quality and inclusive design which responds to local context. The layout has largely been developed having regard to the siting of existing buildings and trees. It ensures that key existing trees are retained and their setting is enhanced, forming part of the open space and key feature within the site. As a result good separation and spacing is provided between the dwellings and around the site with pockets of green space which reflects the wider character of the area. As you enter the site a central green will open up and link views to the wider open space. Private and communal areas are defined with hedge planting proposed to several of the plot boundaries including the apartments, which ensures the semi-rural character is respected whilst contributing to biodiversity gain. The dwellings have been designed incorporating traditional features with steep pitched roofs use of bay window and fenestration detailing and suggested materials reflect the character of the local area. The apartment blocks would have a modest footprint and have been carefully designed with double gable and bays to front elevation to ensure they have a domestic scale and appearance reflect of a large dwellinghouse. With second floor accommodation set within the roofspace and incorporation of dormer windows, this ensures the height and scale of the apartments are appropriate and reflect the existing building on the site.

- 7.8 The proposed development retains good separation to the site boundaries with the exception of the plots adjacent to the access junction with Bakeham Lane, which reflects the siting of existing buildings. The proposed development would be largely screen from Bakeham Lane by existing boundary trees and vegetation coupled with the set back of the development. The proposed dwellings would be set back from the northern boundary and also separated from the neighbouring dwellings to the north by the adjacent track thus ensuring that there would be no overlooking or other identified harms to residential amenity. To the east the site adjoins the residential curtilage of Alderwood, and whilst the dwellinghouse is set away from the site boundary, the dwellings along the eastern edge of the site are single storey bungalows set back from the site boundary and therefore do not give rise to impact on neighbouring amenity. The layout therefore ensures that neighbouring residential amenity is protected in compliance with Policy EE1. Internally within the site, the proposed layout has been designed to ensure good spacing between dwellings and positioning of windows to ensure that privacy is maintained.

7.9 Amenity and Open space

The NPPF requires the provision of a good standard of amenity for future residents and this is reflected within Policy EE1 and Policy SL26 set out requirements for the provision of open space. A large area of communal open space, approximately 0.7 hectares in area will be provided in the south east area of the site and will include an equipped children's play area; full details of which will be secured by condition. This area of the site is set on slightly lower ground levels which banks up to existing buildings. A similar arrangement would result with the proposed development with the two apartment blocks overlooking the open space in a similar manner as the existing buildings do, which will also provide natural surveillance to the open space. Part of this area of open space will also serve as an attenuation basin for SuDs and is illustrated as a wet feature within the landscaping plan which will have the additional

benefit of supporting biodiversity. The site provides additional informal communal open space around the proposed dwellings which the plans suggested also offer potential for raised community planting beds or orchard planting as supported by Policy SL26. The dwellinghouses would have appropriate size private amenity space. The apartment blocks would be surrounded by hedging to form an enclosed amenity area for the apartments and enabling direct access to a private terrace or amenity space for the ground floor flats. The plans currently do not illustrate any private external amenity space such as in the form of a balcony for the upper floors. However, as the plans include a projecting bay to the upper floors this could be readily revised to form a balcony as suggested in the supporting Planning Statement and thereby providing direct access to private external space and this can be secured by condition. In addition, residents would have access to the wider community green spaces around the site, therefore future occupiers would be afforded access to a good provision of amenity space which supports the health and wellbeing of future residents. It is not considered to be feasible to provide sports pitches on site and off site contributions would be secured through CIL as well as allotment provision and therefore the application would be compliant with the requirements of Policy SL26.

7.10 Trees

The site includes a number of large trees of high amenity value and existing trees form a key part of the character of the site together with trees to the site boundaries particularly along the road frontage to Bakeham Lane and to the southern boundaries which abuts an area of woodland. The proposed site layout has been designed and revised to have regard to existing trees. It ensures that the significant trees within the site as well as existing boundary trees including those fronting Bakeham Lane will be retained. Whilst 19 trees and parts of 2 groups of trees are proposed for removal to facilitate the proposed development the Arboricultural Report categorises these trees as either poor quality or smaller and of low amenity value including some which are recommended for removal for good arboricultural practice regardless of the scheme due to their condition or suppressed by surrounding trees. All category A and B trees are to be retained and the submitted Landscape Design Statement suggests approximately 50 new trees to be planted to offset the loss which will ensure the overall tree coverage is maintained and enhanced across the site. A group of Oak trees, centrally located within the site are considered of high amenity value and an important feature within the site. Currently these trees are enclosed by existing buildings, however the proposed scheme has been designed to open up views of this group of Oak trees to form part of the open landscape forming a key feature towards the centre of the site. The layout also ensures that those trees to be retained are also sufficiently distanced from new dwellings. This was a concern of the original layout proposed, however the current scheme which has reduced the amount of development proposed ensures sufficient spacing to retained trees whilst also ensuring that existing trees do not dominate the gardens or compromise the outlook of future residents thereby securing residential amenity and reducing potential future pressures on the trees. The amended layout also secures the retention of a Category B Cedar tree (T52) which will now be set within a green link between the proposed dwellings and open space. The link between existing trees and open spaces that will be created form an important part of the character and setting of the proposed development and ensures the site respects the sites wider context. The Arboricultural report includes details of tree protection measures including phasing of protection for both the demolition and construction phases of the development. A condition requiring the implementation of the tree protection measures as described within the submitted report is considered appropriate to secure appropriate tree protection together with details of newplanting.

7.11 Ecology

The site lies within 5km of the Thames Basin Heaths Special Protection Area. In accordance with guidance from Natural England, the Habitats Regulations Assessment requirements are that plans or projects which may have a likely significant effect on a European designated site (such as the TBHSPA) can only proceed if the competent authority is convinced they will not have an adverse effect on the integrity of the European site. Recent case law has suggested that likely significant effects cannot be ruled out at this screening stage, and in accordance with the Natural England guidance and national legislation, the application proposal must be made subject to an appropriate assessment. In accordance with the Council's SPG, and without consideration of potential mitigation regarding the TBHSPA this application is 'screened in' to the need for appropriate assessment as it lies within a zone of influence where recreational disturbance arising from new occupation in proximity to the TBHSPA is likely to have an adverse effect.

7.12 The guidance is that Natural England are required to be consulted and the LPA must have regard to its advice. Natural England agreed the framework for relevant development proposals affected by the TBHSPA in 2008 and the Council has been following this framework since then utilising it as standing advice removing the need for individual consultation to Natural England for schemes of this scale. It therefore falls to the Council to undertake the Appropriate Assessment of the application, which includes the consideration of any proposed mitigation, to reach a conclusion as to whether the proposal has an residual adverse effects that lead to a likely significant effect on habitats at the TBHSPA. In undertaking this Appropriate Assessment it is considered that there will be permanent effects arising from increasing the number of residential units within 5km of the TBHSPA. The applicant has agreed to provide

mitigation measures which will be secured through a Section 106 agreement in respect of SAMM payment and contribution towards SANGS in accordance with the TBHSPA Supplementary Planning Guidance. This is in accordance with Policy EE10 and guidance within the NPPF.

- 7.13 Parts of the site fronting Bakeham Lane and towards the south of the site fall within a designated Priority habitat (deciduous woodland). The revised layout ensures that the existing trees within this designated area are retained with the exception of 5 trees, 2 of which are considered to be dead and the other 3 are smaller, lower quality trees. Currently existing hardstanding in the form of parking encroaches into this area. Within the proposed scheme the existing tree belt to Bakeham Lane forming the priority habitat designation will be retained and remain undeveloped, forming part of the rear gardens of the proposed dwellings. The proposed scheme will remove the existing hardstanding and the proposed dwellings are to be sited outside of this designation. It is acknowledged that a small section of the internal road providing access to the parking for plot 24 and the adjacent 2 visitor spaces would be new development would encroach into the designated priority habitat and only part of which includes existing structures. However, notwithstanding what is illustrated on the submitted plans it is considered that these parking areas could be reconfigured or re-sited together with consideration of surfacing treatment in order to have better regard to the designation and this can be secured through condition.
- 7.14 An updated Ecological Appraisal has been submitted which also takes into account the recommendations of Surrey Wildlife Trust within the suggested mitigation measures and ecological enhancements proposed. This includes various safeguarding measures to be implemented during site clearance and construction to minimise harm to wildlife and protected species. The report recognises the need for pre-works inspections, recognising that site conditions or presence of wildlife can change over time. The results of bat surveys undertaken on the site suggest a bat roost within 3 of the existing buildings to be removed (building B1, B3a and B3b). A European Protect Species Licence will be required from Natural England and this will need to include a mitigation strategy to ensure the bats are suitably protected. The Ecological Appraisal acknowledges this and provides details of likely mitigation measures including the provision of alternative roosts in the form of bat boxes on new buildings and mature trees and tiled rooftops. A condition is recommended to ensure a licence is obtained from Natural England prior to the commencement of works as well as submission of detailed mitigation measures based on the measures set out within the Ecological Appraisal and within any associated licence. Whilst Surrey Bat Group have raised some questions over the methodology relating to the Bat surveys undertaken to establish the type of roost and species of bats, it is accepted that bat roosts are present on site and as such a licence and appropriate mitigation including replacement roosts will be required. Additional survey work will be secured by condition which will address the comments of Surrey Bat Group and help further inform the mitigation required. No evidence of protected species other than bats have been identified on site through the surveys undertaken, although it is recognised that precautionary measures should be undertaken as recommended within the Ecological Appraisal together with further checks in advance of works and a condition will ensure that the recommended mitigation measures and undertaken.
- 7.15 The proposed development is located away from the site boundaries. The applicant has considered impacts on other protected species and has carried out surveys. West Surrey Badger Group have raised no objection to the application subject to the implementation of mitigation measures to ensure a precautionary approach is taken during construction and have advised that should any works be required within a defined exclusion zone, then a licence will be required from Natural England. The application retains significant areas of open space and boundary planting and trees. In addition, the area to the east and south of the site includes areas of woodland areas and extensive areas of undeveloped green belt land providing wide habitat and foraging opportunities beyond the application site. With conditions to secure appropriate avoidance, mitigation and compensation measures as reflected within the supporting documents, the proposed development is not considered to result in significant harm to wildlife and protected species and provides opportunity for further biodiversity enhancement of the site.
- 7.16 The NPPF encourages new development to maximise opportunities for biodiversity enhancement and this is also reflected within Policy EE9 of the Local Plan. Mindful of the sites green belt location and having regard to tree and habitat retention, large parts of the site will remain undeveloped providing opportunity biodiversity enhancement measures in order to achieve net gain within the site. Whilst full details will be secured through condition the Ecological Appraisal proposes a number of measures including new planting of native trees and shrubs, proposed hedging forming the boundary treatment to a number of the dwellings and the apartments, wildflower grassland and fruit bearing trees, bat and bird boxes, the provision of gaps within garden fences providing permeability for small mammals including hedgehogs together with habitat or log piles, use of bee bricks. A condition to secure a landscape and ecological management plan (LEMP) reflecting the avoidance, mitigation and enhancement measures within section 6 of the Ecological Appraisal report and including details of to secure long term management. This will ensure the application delivers an enhancement in the biodiversity on the site in compliance with Policy EE9.

7.17 Transport and parking

The application utilises the existing vehicular access to Bakeham Lane which will be retained and improved to serve the development. This includes a pedestrian footpath either side of the access road and a new informal pedestrian crossing point with tactile paving to enable improved pedestrian crossing outside the site. A continuous footway exists along Bakeham Lane opposite the site linking to the A30 London Road to the north. The application includes improvements to the footpath immediately adjacent to the entrance of the site providing drop kerb and tactile paving to assist with pedestrian crossing, which is supported by Surrey Highways Authority. To the south of the site the footpath switches between sides and whilst letters received express the desire for the footpath to be reconstructed on a single side of the road, the letter also includes previous correspondence from Surrey Highways outlining the huge costs and constraints in achieving this requiring a reconstructed carriageway and impact on existing services and utilities. Surrey Highways have assessed the current application and consider that it does raise any highway safety issues requiring further mitigation and therefore any footpath changes to the south of the site are not required in order to make the scheme safe or acceptable. Off-site infrastructure improvements including any highway related schemes would be covered through CIL. The application is CIL liable and is expected to make a contribution in line with the Councils CIL charging schedule.

- 7.18 The site is currently in employment use as an office and research facility with 63 existing car parking spaces according to the supporting Transport Statement. This compares with a total of 51 spaces for the proposed development and the Transport Statement illustrates a reduced impact on the local highway network. Surrey County Council as Highway Authority have raised no objection in respect of highway safety, capacity and policy grounds. Parking provision would be provided for in line with current policy guidance including the provision of electrical vehicle charging points which will be secured by condition. The application proposes the provision of cycle storage in the form of sheds and/or garages for the houses and separate secure cycle store for the apartments the full details of which will be secured by condition. The application complies with Policy SD4.

7.19 Drainage

The application has been accompanied by a flood risk assessment and drainage . The site does not lie within an area at risk of flooding and as such no objections have been raised on flood risk grounds. The supporting documents detail a SuDs based approach utilising an infiltration basin to the south of the development. The Councils drainage engineer and Surrey as Lead Local Flood Authority considers the proposed drainage strategy to be acceptable in principle subject to appropriate conditions. The proposal complies with Policy EE13.

7.20 Sustainability and Energy

Policy SD7 seeks to achieve sustainable design within new development and sets out a number of criteria to achieve this. Some of these elements are discussed above including the provision of electrical charging points and biodiversity net gains. The application is supported by a Sustainability and Energy Statement which explores options available for renewable energy and energy savings enabling in excess of 10% reduction in emissions through low-carbon and/or renewable technologies which could include solar hot water heating panels, photovoltaics, air source heat pumps and/or flue-gas heat pumps. Details will be secured by condition to ensure compliance with Policy SD8. The supporting Statement also considers water consumption and seeks to achieve a water efficiency through reduction in use of water and facilities for rainwater harvesting for landscape maintenance. In addition, the application confirms that all dwellings will be built in accordance with Part M4(2) of the Building Regulations with 5% to be built to Part M4(3) to provide wheelchair adaptable or accessible units in compliance with Policy SD7.

7.21 Archaeology

Part of the northern area of the site falls within a defined Area of High Archaeological Potential due to previous discoveries of Roman settlement activity. The application is supported by a desk based archaeological assessment and the report concludes that the site is unlikely to contain any extensive archaeological deposits of any significance or value requiring preservation due to impacts of previous development. Surrey County Archaeology acknowledge that while there will have been disturbance within footprints of existing buildings there are some undeveloped areas or areas under hardstanding where archaeological remains may have survived. They have recommended a condition to secure further work in the form of trial trenching to clarify the likely presence of archaeological assets and enable suitable mitigation measures to be developed if applicable which ensures the scheme does not result in harm to heritage assets and accords with policies EE3 and EE7.

7.22 Contamination

The application is accompanied by a Phase 1 Desk Study Assessment in respect of land contamination which concludes the site is considered low to moderate risk from ground gas and recommends further

investigation to inform if any mitigation is required. The Councils Contaminated Land Officer has raised no objections to the proposed development subject to condition.

8. PLANNING OBLIGATIONS/COMMUNITY INFRASTRUCTURE LEVY (CIL)

- 8.1 The application proposes new dwellings and will therefore be liable for CIL.

9. EQUALITY AND HUMAN RIGHTS CONSIDERATIONS

- 9.1 Consideration has been given to Articles 1 and 8 of the First Protocol of the European Convention on Human Rights. It is not considered that the decision would result in a violation of any person's rights under the Convention.

Consideration has been given to s149 of the Equality Act 2010 (as amended), which has imposed a public sector equality duty that requires a public authority in the exercise of its functions to have due regard to the need to:

- Eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
- Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
- Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

It is considered that the decision would have regard to this duty.

10. CONCLUSIONS

- 10.1 The application would provide appropriate development that maintains the open character of the green belt. The development has been designed to provide an efficient use of the site whilst respecting the site's green belt setting, and existing trees and habitat. The application will provide a range of new homes including affordable housing. The layout has provided good spacing around the dwellings and maintains open areas of landscaping with key retained trees forming key features which will enhance their visual amenity and helps to ensure the scheme reflects the wider landscape setting of the site and existing residential character. The scale and layout of the development has been revised during the course of the application reducing the number of dwellings proposed and introducing bungalows towards the eastern boundary, improving spacing between dwellings and the relationship to existing trees. As set out within the above report, the application is in compliance with Planning Policy.
- 10.2 The development has been assessed against the following Development Plan policies – SD3, SD4, SD5, SD7, SD8, SL1, SL19, SL20, SL26, EE1, EE2, EE3, EE7, EE9, EE10, EE11, EE12, EE13 and EE17 of the Runnymede 2030 Local Plan, the policies of the NPPF, guidance in the PPG, and other material considerations including third party representations. It has been concluded that the development would not result in any harm that would justify refusal in the public interest. The decision has been taken in compliance with the requirement of the NPPF to foster the delivery of sustainable development in a positive and proactive manner.

11. FORMAL OFFICER RECOMMENDATION

The CHDMBC be authorised to grant planning permission subject to the completion of a Section 106 legal agreement under the Town and Country Planning Act 1990 (as amended) to secure the following obligations:

Planning Obligations of:

- (i) ***SAMM TBH SPA financial contribution of £360 per occupant***
(ii) ***SANG TBH SPA financial contribution of £903.50 per occupant***
(iii) ***The delivery of 10 Affordable Housing units on the site (7 social/affordable rent and 3 shared ownership)***

And the subject to the following planning conditions:

1	Full application (standard time limit)
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	<p>The development for which permission is hereby granted must be commenced not later than the expiration of three years beginning with the date of this permission.</p> <p>Reason: To comply with Section 51 of Part 4 of the Planning and Compulsory Purchase Act 2004.</p>
2	<p>Construction transport management plan</p> <p>No development shall commence until a Construction Transport Management Plan, to include details of:</p> <ul style="list-style-type: none"> (a) parking for vehicles of site personnel, operatives and visitors (b) loading and unloading of plant and materials (c) storage of plant and materials (d) programme of works (including measures for traffic management) (e) provision of boundary hoarding behind any visibility zones (f) measures to prevent the deposit of materials on the highway (g) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused (h) on-site turning for construction vehicles <p>has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.</p> <p>Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to comply with Policy SD4 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
3	<p>Sustainable construction</p> <p>Prior to demolition, details of sustainable construction and demolition techniques to provide for the efficient use of minerals and encourage the re-use of construction and demolition waste at source or its separation and collection for recycling, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out fully in accordance with the approved details.</p> <p>Reason: In order to achieve sustainable development and to comply with Policy SD7 of the Runnymede 2030 Local Plan and guidance within the NPPF</p>
4	<p>SuDS (scheme for approval - pre-development)</p> <p>The development hereby permitted shall not commence (excluding any site clearance, demolition or ground investigation works) until details of the design of a surface water drainage scheme have been submitted to and approved in writing by the Local Planning Authority. The design must satisfy the SuDS Hierarchy and be compliant with the national Non-Statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS. The required drainage details shall include:</p> <ul style="list-style-type: none"> a) The results of infiltration testing completed in accordance with BRE Digest: 365 and confirmation of groundwater levels. b) Evidence that the proposed final solution will effectively manage the 1 in 30 & 1 in 100 (+40% allowance for climate change) storm events and 10% allowance for urban creep, during all stages of the development. If infiltration is deemed unfeasible, associated discharge rates and storage volumes shall be provided using a maximum discharge rate of 3.3l/s. c) Detailed drainage design drawings and calculations to include: a finalised drainage layout detailing the location of drainage elements, pipe diameters, levels, and long and cross sections of each element including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers etc.). d) A plan showing exceedance flows (i.e. during rainfall greater than design events or during blockage) and how property on and off site will be protected. e) Details of drainage management responsibilities and maintenance regimes for the drainage system. f) Details of how the drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational. <p>Reason: To ensure that the design meets the national Non-Statutory Technical Standards for SuDS and that the final drainage design does not increase flood risk on or off site and to comply with Policies SD7, EE12 and EE13 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
5	<p>SuDS (verification)</p> <p>Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations),</p>

	<p>provide the details of any management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices and outfalls).</p> <p>Reason: To ensure that the drainage system is constructed to the national Non-Statutory Technical Standards for SUDS and to comply with Policies SD7, EE12 and EE13 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
6	<p>Construction Environmental Management Plan (CEMP)</p> <p>Prior to commencement of development, including demolition, a Construction Environmental Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The development shall take place fully in accordance with the approved details.</p> <p>Reason: To achieve sustainable development and protect the environment in the vicinity of the site and to comply with Policy EE2 of the Runnymede 2030 Draft Local Plan and guidance within the NPPF.</p>
7	<p>Bat survey (for approval)</p> <p>No development shall take place (including any demolition and site clearance) until an updated bat survey has been conducted on the site and the findings of the survey, together with confirmation of an approved European Protected Species licence in respect of Bats together with and Method Statement to include proposed mitigation measures, compensation and enhancement measures (based on the measures specified within the approved Ecological Appraisal), have been submitted to and agreed in writing by the Local Planning Authority. The development shall be carried out full in accordance with the agreed measures which shall be retained for the lifetime of the development.</p> <p>Reason: To ensure compliance with statutory provisions in respect of the protection of bats and to comply with Policies EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
8	<p>Badger survey</p> <p>No development shall take place (including any demolition and site clearance) until a further badger survey has been conducted on the whole site and the findings of the survey, and any recommended mitigation, submitted to and agreed in writing by the Local Planning Authority. The development shall not commence until all the measures approved in accordance with this condition have been implemented.</p> <p>Reason: To protect badgers and to comply with Policy EE9 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
9	<p>Site characterisation</p> <p>No development must take place until an assessment of the nature and extent of contamination on the site has been submitted to and approved in writing by the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and shall assess any contamination on the site whether or not it originates on the site. The report of the findings must include:</p> <ol style="list-style-type: none"> a. a survey of; b. the extent, scale and nature of contamination; c. an assessment of the potential risks to: <ol style="list-style-type: none"> i. human health; ii. property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes; iii. adjoining land; iv. ground waters and surface waters; v. ecological systems; vi. archaeological sites and ancient monuments. <p>Reason: To ensure that risks from land contamination to the future users of the land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy EE2 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
10	<p>Remediation scheme (submission)</p> <p>If found to be required, no development shall take place until a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been submitted to and approved in writing by the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, an appraisal and remedial options, proposal of the</p>

	<p>preferred option(s), a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.</p> <p>Reason: To ensure that risks from land contamination to the future users of the land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy EE2 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
11	<p>Remediation scheme (implementation)</p> <p>If found to be required, the remediation scheme shall be implemented in accordance with the approved timetable of works. Within 3 months of the completion of measures identified in the approved remediation scheme, a verification report (or validation report) that demonstrates the effectiveness of the remediation carried out must be submitted to the Local Planning Authority in writing for approval.</p> <p>Reason: To ensure that risks from land contamination to the future users of the land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy EE2 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
12	<p>Encountered contamination</p> <p>In the event that contamination that was not previously identified is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority (LPA), and development must stop on that part of the site. An assessment must be undertaken in accordance with the requirements of Condition 9 above, or otherwise agreed in writing and where remediation is necessary, a remediation scheme, together with a timetable for its implementation must be submitted to and approved in writing by the LPA in accordance with the requirements of Condition 10 in the form of a Remediation Strategy which follows DEFRA guidance. The measures in the approved remediation scheme must then be implemented in accordance with the approved timetable. Following completion of the measures identified in the approved remediation scheme, a validation (or verification) plan and report must be submitted to and approved in writing by the LPA in accordance with Condition 11.</p> <p>Reason: To ensure that risks from land contamination to the future users of the land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy EE2 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
13	<p>Tree protection</p> <p>Prior to the commencement of any works hereby approved, including demolition, and before any equipment, machinery or materials are brought on to the site, an updated Tree Protection Plan shall be submitted to the Local Planning Authority for approval to include both the demolition and construction phase of the development and then subsequently approved tree protective measures shall be installed in accordance with the approved Tree Protection Plan. Once in place, photographic evidence of the protective measures shall be submitted to the Local Planning Authority (LPA) for approval.</p> <p>The works shall be carried out in accordance with the approved protection plan and method statement as described in the report by Mark Welby reference MW.19.0505.AIA dated 09/12/2015 rev A issued 27.01.2021. Sec 7 . The protective measures shall remain in place until all works are complete and all machinery and materials have finally left site. Nothing shall be stored or placed in any area fenced in accordance with this condition, nor shall any fires be started, no tipping, refuelling, disposal of solvents or cement mixing carried out and ground levels within those areas shall not be altered, nor shall any excavation or vehicular access, other than that detailed within the approved plans, be made without the written consent of the LPA.</p> <p>There shall be no burning within six metres of the canopy of any retained tree(s). Where the approved protective measures and methods are not employed or are inadequately employed or any other requirements of this condition are not adhered to, remediation measures, to a specification agreed in writing by the LPA, shall take place prior to first occupation of the development, unless the LPA gives written consent to any variation.</p>

	Reason: To protect the trees to be retained, enhance the appearance and biodiversity of the surrounding area and to comply with Policies EE1, EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF
14	<p>Tree retention</p> <p>No tree to be retained in accordance with the approved plans (hereafter known as retained trees and including offsite trees) shall be cut down, uprooted or destroyed and no works to the above or below ground parts of the trees in excess of that which is hereby approved shall be carried out without the written approval of the Local Planning Authority until the expiration of five years from the date of completion of the development. If, within this time, a retained tree is pruned not in accordance with BS3998, removed, uprooted, damaged in any way, destroyed or dies, replacement trees shall be planted at the same place, sufficient to replace the lost value of the tree as calculated using an amenity tree valuation system, unless otherwise agreed in writing by the Local Planning Authority. The number, size, species, location and timing of the replacement planting shall be as specified by the Local Planning Authority.</p> <p>Reason: To protect the trees to be retained and to preserve and enhance the appearance and biodiversity of the surrounding area and to comply with Policies EE1, EE9 and EE11 of the Runnymede 2030 Local Plan.</p>
15	<p>Levels (for approval)</p> <p>Notwithstanding the details shown on the submitted plans, prior to the commencement of the development hereby approved, with the exception of demolition and site clearance, details of the existing and proposed levels of the application site together with key sections illustrating existing and proposed ground levels shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out in complete accordance with the approved details.</p> <p>Reason: In order to obtain a satisfactory form and scale of development in order to protect the open character of the green belt and the protection of existing trees to be retained and to comply with Policy EE1, EE17, EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
16	<p>Programme of archaeological work</p> <p>No works below current ground levels shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority.</p> <p>Reason: To allow archaeological information to be recorded and to comply with Policy EE7 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
17	<p>Biodiversity</p> <p>The above ground construction of the development hereby approved shall not commence until details of the measures to improve and enhance biodiversity at the site have been submitted to and approved in writing by the Local Planning Authority. Such details as shall be approved shall be fully implemented prior to the first use or occupation of the development.</p> <p>Reason: To enhance the biodiversity of the site and to comply with Policies EE9, EE11 and EE12 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
18	<p>Prior to the above ground construction of the development hereby approved, a Landscape Environmental Management Plan (LEMP) shall be submitted for the prior approval in writing of the LPA. The LEMP should be based on the proposed impact avoidance, mitigation and enhancement measures specified in Section 6 of the above referenced Ecological Appraisal report and include details to improve and enhance biodiversity at the site and should include adequate details of the following</p> <ul style="list-style-type: none"> - Description and evaluation of features to be managed and created including measures to restore or enhance Habitats of Principal Importance - Provision of suitable foraging/commuting habitat for Badgers - Numbers and locations of Bat and Bird boxes and log piles for Reptiles, Amphibians and invertebrates, including provision integral to the design of the new buildings where appropriate - Aims and objectives of management - Appropriate management options to achieve aims and objectives - Prescriptions for management actions - Preparation of a work schedule for securing biodiversity enhancements in perpetuity - Details of the body or organisation responsible for implementation of the LEMP - Ongoing monitoring and remedial measures. - Details of legal / funding mechanisms. <p>The development shall be implemented in accordance with the approved details.</p>

	Reason: To protect and enhance the biodiversity and ecological value of the site and to comply with Policies EE9, EE11 and EE12 of the Runnymede 2030 Local Plan and guidance within the NPPF.
19	<p>Landscaping</p> <p>a. No above ground development shall take place until full details of both hard and soft landscaping works have been submitted to and approved in writing by the Local Planning Authority (LPA) and these works shall be carried out as approved prior to the first occupation of the development. This scheme shall include indications of all changes to levels, hard surfaces, walls, fences, access features, minor structures, the existing trees and hedges to be retained, together with the new planting including new tree planting to be carried out and details of the measures to be taken to protect existing features during the construction of the development.</p> <p>b. All hard and soft landscaping works shall be carried out in accordance with the approved details. Arboricultural work to existing trees shall be carried out prior to the commencement of any other development; otherwise all remaining landscaping work and new planting shall be carried out prior to the occupation of any part of the development or in accordance to the timetable agreed with the LPA. Any trees or plants, which within a period of five years of the commencement of any works in pursuance of the development die, are removed, or become seriously damaged or defective, shall be replaced as soon as practicable with others of similar size and species, following consultation with the LPA, unless the LPA gives written consent to any variation.</p> <p>Reason: To preserve and enhance the character and appearance and biodiversity of the surrounding area and to comply with Policies EE1, EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
20	<p>Boundary treatment (general)</p> <p>No above ground development shall take place until details of all screen and boundary walls, fences, hedges and any other means of enclosure have been submitted to and approved in writing by the Local Planning Authority (LPA); such approved means of enclosure to be erected and hedges, etc., planted in accordance with the approved details before the building(s) hereby approved are occupied, unless the LPA otherwise first agrees in writing. Any hedges and/or enclosure and boundary planting included in the scheme shall be maintained for a period of 5 years, from the time of planting, including the replacement of any plant which may die.</p> <p>Reason: To enhance the appearance and biodiversity of the surrounding area and to comply with Policies EE1, EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
21	<p>External materials (details required)</p> <p>Before the above ground construction of the development hereby permitted is commenced, details of the materials to be used in the external elevations shall be submitted to and approved by the Local Planning Authority and no variations in such materials when approved. Development shall be carried out in accordance with the approved details.</p> <p>Reason: To ensure high quality design and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
22	<p>Surfacing materials (details required)</p> <p>No above ground development shall take place until details of all surfacing materials, including those to all access driveways/forecourts, etc. have been submitted to and approved in writing by the Local Planning Authority.</p> <p>Reason: To ensure high quality design and sustainable drainage and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
23	<p>Notwithstanding the details shown on the plans and elevations for Apartments A and B, details shall to submitted to and approved in writing by the Local Planning Authority to illustrate proposed balconies to the upper floor apartments of Apartment Block A and B, prior to the above ground construction of the apartment blocks. The development shall be carried out in accordance with the details as approved.</p> <p>Reason - To ensure the provision of external private amenity space in the interests residential amenity and the health and wellbeing of future occupants and to comply with Policy SL1 and EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
24	<p>Notwithstanding the details illustrated on the approved plans, details shall be submitted to and approved in writing by the Local Planning Authority of how the car parking provision for Plot 24 and the adjacent visitor spaces and associated access road can be accommodated having regard to the designated priority habitat and green belt. Development shall thereafter be carried out in accordance with the approved</p>

	Reason: In order to have regard to and protect the designated priority habitat on the site and to comply with Policies EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF
25	<p>Wheelchair access</p> <p>Prior to the commencement of the above ground works, details of how the development will provide wheelchair adaptable and wheelchair accessible units shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out fully in accordance with the approved details.</p> <p>Reason: To ensure that major residential development schemes are accessible and to comply with Policy SD7 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
26	<p>No part of the development shall be first occupied unless and until the proposed vehicular and pedestrian modified access to Bakeham Lane has been constructed and provided with visibility zones in accordance with the approved plans and thereafter the visibility zones shall be kept permanently clear of any obstruction over 1.05m high.</p> <p>Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to comply with Policy SD4 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
27	<p>The development hereby approved shall not be first occupied unless and until the proposed pedestrian crossing point on Bakeham Lane has been constructed in accordance with the approved plans and thereafter permanently retained and maintained to the satisfaction of the Local Planning Authority.</p> <p>Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to comply with Policy SD4 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
28	<p>The development hereby approved shall not be first occupied unless and until details have been submitted to and approved in writing by the Local Planning Authority in respect of cycle storage and space has been laid out within the site in accordance with the approved plans or vehicles and cycles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. All cycle parking shall be secure, covered and lit. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.</p> <p>Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to encourage active and sustainable travel and to comply with Policy SD3 and SD4 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
29	<p>Open space provision and maintenance (for approval)</p> <p>Before the first occupation of any of the dwellings hereby permitted, arrangements for the provision and maintenance of the incidental open space and amenity areas within the site, as indicated on the approved plans, shall be submitted to and approved by the Local Planning Authority (LPA), and shall thereafter be implemented and maintained for a period of not less than 10 years unless agreed otherwise in writing with the LPA.</p> <p>Reason: To ensure the provision and proper maintenance of such areas within the development, in the interests of amenity of the area and for future occupiers and to comply with Policies SL25, SL26 and EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>
30	<p>Provision of open space</p> <p>Prior to the first occupation of any dwelling hereby approved, details of the provision of new and enhanced provision of open space to include details of the play equipment for children (in general accordance with the Illustrative Landscape Masterplan) to be incorporated within the development, shall be submitted to and approved in writing by the Local Planning Authority. Such details shall include measures for management and maintenance, and the scheme and the play equipment shall be installed in accordance with a timetable to be submitted to and agreed with the Local Planning Authority but installed no later than the occupation of the last dwelling hereby approved, and retained for the lifetime of the development.</p> <p>Reason: To ensure the development includes high quality open spaces to enhance the health and well-being of the future occupiers of the development and to comply with Policy SL26 of the Runnymede 2030 Local Plan and guidance in the NPPF.</p>
31	<p>Water efficiency</p> <p>Prior to the first use/occupation of the development hereby permitted, details of the water efficiency measures and rainwater harvesting shall be submitted to and approved in writing by the Local Planning</p>

	<p>Authority. Such details as shall be approved shall be fully implemented and retained for the lifetime of the development</p> <p>Reason: In order to achieve water efficiency and sustainable development and to comply with Policy SD7 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>				
32	<p>Renewable energy (details required)</p> <p>Prior to the first occupation of the development hereby approved, details of the chosen renewable energy/low carbon technology to be used, along with calculations demonstrating that 10% of the predicted energy consumption would be met through renewable energy/low carbon technologies shall be submitted to and approved in writing by the Local Planning Authority (LPA).</p> <p>Development shall be carried out in accordance with the approved details and thereafter retained, maintained and operational unless otherwise agreed in writing by the LPA.</p> <p>In the event of air or ground source heat pumps being the chosen renewable energy measure, details shall be submitted to and approved in writing by the LPA prior to installation. Details shall include acoustic data to demonstrate that there will be no increase in the background noise level and that there will be no tonal noise emitted from the unit, as well as details of the location of the unit(s) and the distance to the closest dwelling.</p> <p>Reason: To ensure that a minimum of 10% of the energy requirement of the development is produced by on-site renewable energy sources/low carbon technology and to protect the amenities of occupiers of nearby properties and to comply with Policies SD8 and EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>				
33	<p>External lighting and floodlighting</p> <p>A lighting strategy to include details of any external lighting shall be submitted for the approval in writing by the Local Planning Authority, prior to installation. The lighting shall be designed to be sensitive to wildlife including bats and shall have regard to recommendations of mitigation measures MM8 within Chapter 6 of the Ecological Appraisal by Aspect ecology (January 2021) and include details of proposed hours of use. Development shall be carried out in accordance with the approved details and be retained as such thereafter.</p> <p>Reason: To ensure lighting is appropriate to the sites Green Belt location and to protect wildlife including bats and to comply with Policies EE2, EE9 and EE17 of the Runnymede 2030 Local Plan and guidance within the NPPF.</p>				
34	<p>Electric vehicle charging points (per dwelling)</p> <p>An electric vehicle charging point shall be provided for each dwelling and shall be provided to 20% of the available spaces for the apartments. As a minimum, the charge point specification shall be 7kW mode 3 with type 2 connector. In addition, a further 20% of the available spaces for the apartments shall be provided with a power supply (feeder pillar or equivalent) permitting future connection for electric vehicle charging. The charging points shall be retained for the lifetime of the development.</p> <p>Reason: To ensure sustainable design and to comply with Policy SD7 of the Runnymede 2030 Local Plan and guidance in the NPPF.</p>				
35	<p>Restricted Permitted Development Rights</p> <p>Notwithstanding the provisions of Classes A and E of Schedule 2, Part 1 and of the Town and Country Planning (General Permitted Development) Order 2015 (as amended), or any orders amending or re-enacting that Order with or without modification, no development following within the descriptions of Classes A and E shall be constructed or carried out, without the prior written permission of the Local Planning Authority.</p> <p>Reason: To ensure the openness of the Green Belt is protected and having regard to protected species, the protection of existing trees and designated priority habitat and to comply with Policy EE14, EE17, EE9 and EE11 of the Runnymede 2030 Local Plan and guidance within the NPPF</p>				
36	<p>List of approved plans</p> <p>The development hereby permitted shall not be carried out except in complete accordance with the following approved plans received 11/02/2021</p> <table border="1"> <thead> <tr> <th>Drawing Ref</th> <th>Title</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Drawing Ref	Title		
Drawing Ref	Title				

101 C Proposed Site Layout (coloured)
 2871-LA-01 P4 Illustrative Landscape Masterplan
 300 B Street Elevations
 114 B Proposed Storey Level Height
 121 A Proposed Slab Levels
 ANC01 B Double Garage
 ANC03A Refuse Garage
 ANC04 B Cycle Storage
 APTA-1 Apartment Block A - Proposed Ground Floor Plan
 APTA-2 Apartment Block A - Proposed First Floor Plan
 APTA-3 Apartment Block A - Proposed Second Floor Plan
 APTA-4 Apartment Block A - Proposed Roof Plan
 APTA-5 Apartment Block A - Proposed Elevations
 APTA-6 Apartment Block A - Proposed Elevations
 APTB-1 Apartment Block B - Proposed Ground Floor Plan
 APTB-2 Apartment Block B - Proposed First Floor Plan
 APTB-3 Apartment Block B - Proposed Second Floor Plan
 APTB-4 Apartment Block B - Proposed Roof Plan
 APTB-5 Apartment Block B - Proposed Elevations
 APTB-6 Apartment Block B - Proposed Elevations
 HT1-1 B Proposed Floor Plan
 HT1-2 B Proposed Elevations
 HT2-1 Proposed Floor Plan
 HT2-2 Proposed Floor Plans
 HT2-3 Proposed Floor Plans
 HT2-4 Proposed Elevations
 HT2-5 Proposed Elevations
 HT2-6 Proposed Elevations
 HT3-1 Proposed Floor Plans
 HT3-2 Proposed Elevations
 HT4-1 B Proposed Floor Plans
 HT4-2 B Proposed Elevations
 HTS-01 Proposed Floor Plans
 HTS-02 Proposed Elevations
 HT6-1 Proposed Floor Plan
 HT6-2 Proposed Elevations
 HT6-3 Proposed Elevations
 HT7-1 Proposed Floor Plan
 HT7-2 Proposed Elevations
 HT-101-1 Proposed Floor Plan
 HT-101-2 Proposed Elevations
 HT-202-1 Proposed Floor Plan
 HT-202-2 Proposed Elevations
 ANCOStwin Garage
 ANC06 Car Ports & Single Garage - Plot 24

and the following supporting documents received 11 February 2021 :

Update Ecology Appraisal prepared by Aspect Ecology
 Updated Sustainability Report prepared by Bluesky Limited
 Updated Transport Statement prepared by Motion
 Updated Arboricultural Assessment Revision A issued 27.01.2021 prepared by Mark Welby
 Updated Drainage Assessment prepared by JNP
 Covering letter from Boyer dated 11 February 2021

Together with the following documents submitted on 13/03/2020 (reflective of the superseded layout)
 Planning Statement
 Design and Access Statement
 Desk Based Archaeological Assessment dated Aug 2019 by Archaeology Collective
 Landscape Design Statement by Allen Pyke dated January 2020
 Landscape Character and Visual Impact Assessment by Allen Pyke dated January 2020
 Phase 1 Site Investigation Report by Brownfield Solutions Ltd dated July 2019

Reason: To ensure high quality design and to comply with Policies SD3, SD4, SD5, SD7, SD8, SL1, SL19, SL20, SL26, EE1, EE2, EE3, EE7, EE9, EE10, EE11, EE12, EE13 and EE17 of the Runnymede 2030

Informatives:

1	Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to our website. https://developers.thameswater.co.uk/Developing-a-large-site/Apply-and-pay-for-services/Wastewater-services
2	<p>SCC Informative - No Authority for Highway Works</p> <p>The permission hereby granted shall not be construed as authority to carry out works on the highway. or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.</p>
3	It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html for guidance and further information on charging modes and connector types.
4	The applicant is advised that the development may be liable for CIL and further information is available to view on the Council's website.
5	<p>Summary of Reasons to Grant Consent</p> <p>The decision has been taken in compliance with the requirement in the NPPF to foster the delivery of sustainable development in a positive and proactive manner.</p>
6	<p>Discharging of Planning Conditions</p> <p>The applicant/developer is advised that there is a standard national form to be submitted to the Local Planning Authority when discharging the conditions specified in this decision notice.</p>
7	<p>Details of Planning Obligation</p> <p>The applicant is advised that this permission is subject to a Section 106 Agreement.</p>
8	<p>Amended Plans</p> <p>The applicant is advised that this permission has been amended since the proposal was originally submitted to the Local Planning Authority. The approved drawing numbers are set out on this decision notice.</p>
9	If proposed site works affect an Ordinary Watercourse, Surrey County Council as the Lead Local Flood Authority should be contacted to obtain prior written Consent. More details are available on our website. If proposed works result in infiltration of surface water to ground within a Source Protection Zone the Environment Agency will require proof of surface water treatment to achieve water quality standards.
10	<p>SCC Informative - Dirt or Damage on Highway</p> <p>The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).</p>

Proposed layout with existing buildings shown shaded



Proposed Illustrative Landscape plan



Existing Buildings and Hardstanding



Street scene Sections through site



Sample of Proposed Elevations





Key window to
plate 1 & 2 only

Front Elevation



Key window to
plate 1 & 2 only

Left Side Elevation



Ground Floor Plan

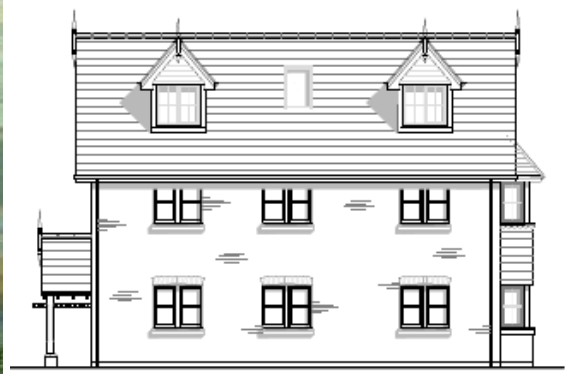


First Floor Plan

Apartment floor plan and Elevation



Front Elevation



Right Side Elevation

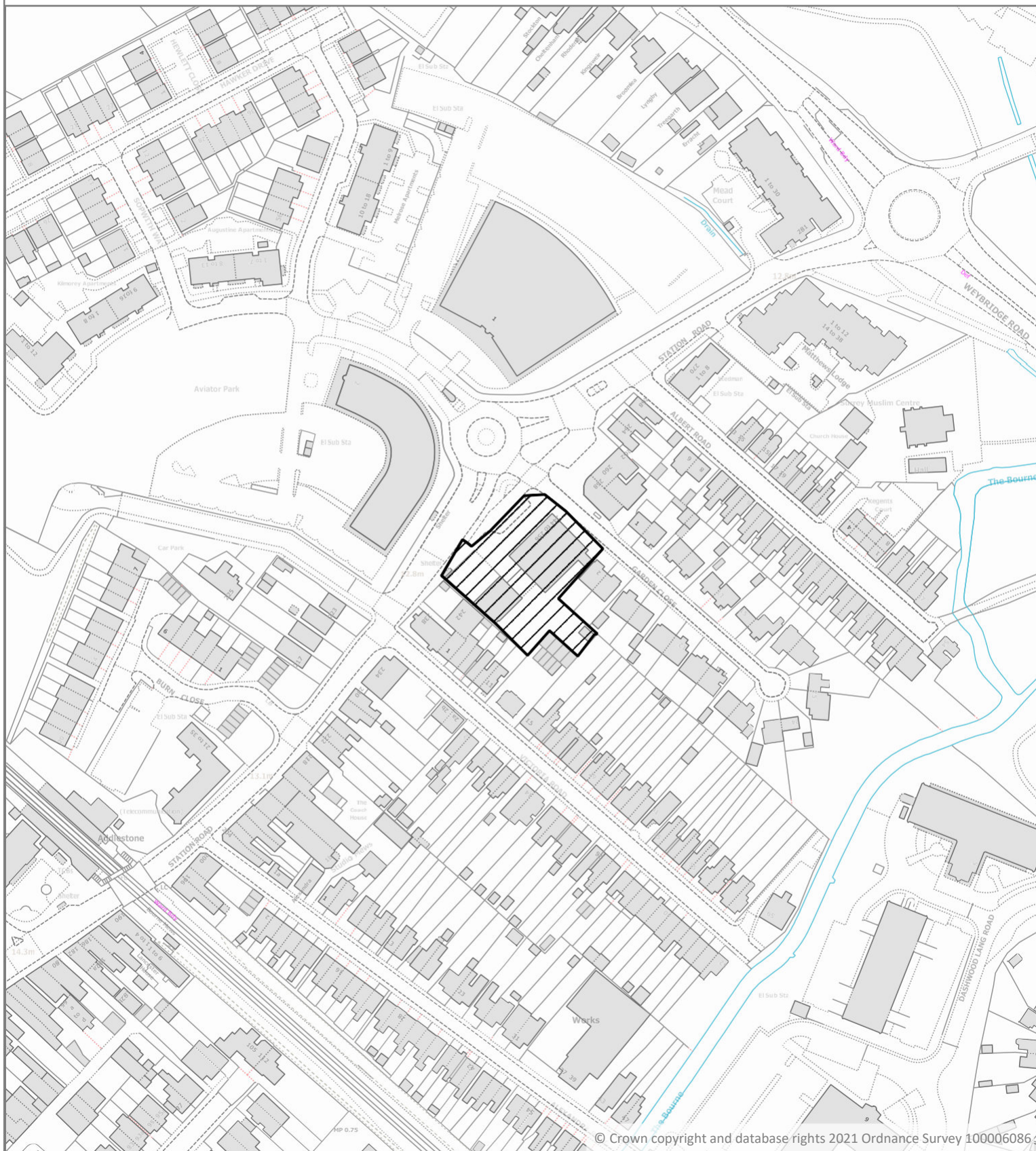




Date: 02/06/2021

Krome House, 244-256 Station Road, Addlestone

Runnymede Borough Council
Runnymede Civic Centre
Station Road
Addlestone
Surrey KT152AH



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Scale: 1:2,000

0 40 80 m

RU.21/0189

APPLICATION REF:	RU.21/0189
LOCATION	244-256 Krome House Station Road Addlestone KT15 2PS
PROPOSAL	New windows to the rear elevation on the ground floor level and the second floor level. Replacement windows to the rear elevation at the first floor level. All proposed windows to be fitted with acoustic glazing Rw=21 db, windows to have dark grey upvc frames and double glazing.
TYPE	Full Planning Permission
EXPIRY DATE	14 May 2021 (extended)
WARD	Addlestone North
CASE OFFICER	Joel Grist
REASON FOR COMMITTEE DETERMINATION	Over 2 letters of objection received
<i>If you have questions about this report please contact Ashley Smith, Christine Kelso or the case officer.</i>	

1. SUMMARY OF RECOMMENDATION

It is recommended the Planning Committee authorises the CHDMBC:	
1.	Grant permission subject to conditions

2. DETAILS OF THE SITE AND ITSSURROUNDINGS

- 2.1 Krome House consists of 2 buildings in commercial use connected at first and second floor level. The buildings are divided by drive through access to the rear car park and loading area and has a number of parking spaces at the front. The buildings currently comprise a mix of retail use of the ground floor with offices above. The site lies adjacent to the roundabout leading to Aviator business park. To the rear of the site there are residential properties along Garden Close and Victoria Road. Adjoining the west boundary is an MOT centre and to the east of the site there are a number of ground floor commercial units with residential dwellings on the first floor above. The site is located in the urban area.

3. APPLICATION DETAILS

- 3.1 The application proposes to install new windows along the ground floor rear elevation, replace existing windows at first floor level and install a new window at second floor/roof level. The ground floor windows will be full height, clear glazed and opening. An amended scheme has been submitted which now proposes the first floor replacement windows to be obscurely glazed to a height of 1.8m from the finished floor level with a small, openable window above. The roof level window is similarly proposed to be obscurely glazed to the same height. No other changes are proposed to any other existing window on the rearelevation.

4. RELEVANT PLANNING HISTORY

- 4.1 The following history is considered relevant to this application:

Reference	Details
RU.21/0350	Application seeking approval of details reserved by planning condition 5 (Acoustic insulation and ventilation) of application RU.19/1519 seeking Prior Approval for a proposed change of use of the building from B1a to C3

	Residential for 25 1 x bed and 10 x studio apartments. – Undecided at time of writing
RU.19/1519	Prior Approval to change of use from B1a to C3 Residential for 25 1 bed and 10 studio apartments. Grant – 04/12/2019
RU.19/1282	Prior approval application for a change of use from A1 (retail) to C3 (dwellinghouses). Grant – 31/10/2019.
RU.87/0786	One-storey extension to delivery bay platform. Grant – 21/09/1987
RU.87/0821	Relaxation of condition 4 of Planning Consent RU.80/0706 to allow continuation of use of part of building as office. Grant - 01/09/1987
RU.86/1186	Erection of a three storey building with shops at ground floor, residential at first floor and office accommodation over (244-246). Grant - 16/03/1987
RU.80/0706	Erection of three storey building to replace existing building with provision of 22 parking spaces on land at 248-256. Grant - 14/10/1980

5 SUMMARY OF MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

- 5.1 National Planning Policy Framework and Guidance.
- 5.2 The Runnymede 2030 Local Plan was adopted on 16 July 2020 and the policies have to be read as a whole. Any specific key policies will be referred to in the planning considerations.

6. CONSULTATIONS CARRIED OUT

Representations and comments from interested parties

- 6.1 22 Neighbouring properties were consulted in addition to being advertised on the Council's website and 9 letters of representation have been received in regard to the original scheme and a further 5 letters following the receipt of amended plans, which can be summarised as follows:
- Gross invasion of privacy as building is 14 feet from boundary of the nearest dwelling and there will be uninterrupted views across the gardens.
 - The windows would double in size and the far right first floor window would look into neighbouring study.
 - Cynical use of the prior approval process and predictability about proposed external changes applied for.
 - Materially reduce the re-sale value of neighbouring property.
 - Responsibility of the officers and councillors to protect residents from financial loss.
 - Quiet area that will get worse with congestion, parking problems and more pollution.
 - Gross loss of privacy and overall ambience of other residents of Garden Close.
 - Loss of privacy for vulnerable children and safeguarding issues.
 - Questions regarding whether the windows will be privacy windows and if there are changes in the size/shape and angle of the replacements.
 - Previous objections regarding overdevelopment and parking issues are deemed irrelevant and have been lost.
 - No valid reasons why permission could be granted to convert light industrial building into homes that blatantly invade privacy of residents – Officer's Comment: the application does not seek to change the use of the building, with only new and replacement windows proposed.

The responses to the amended plans are summarised below:

- The amendments to the first floor windows go some way in mitigating concerns but full openable and clear glazed second floor windows means that most of the concerns remain.
- Photos submitted to show view from second floor.
- It is within the officer's brief to reject the amendments or include obscure glazing to all second floor windows. Not doing so would allow developers to manipulate appropriate development by a misuse of the prior approval process.
- The application should be rejected as there is no obscure glazing on the second floor.
- Safeguarding concerns are the same having strangers watch children play in neighbouring gardens.

- Invasion of privacy has not been fully taken into account. Need for affordable housing is a problem but wonder whether concerns are factored in at all.
- Detrimental effect on vulnerable children along with stress and anxiety from loss of privacy and overlooking.
- Comes across as though it is only considered high floor windows would invade the privacy as opposed to all the other areas that overlook gardens.
- Questions regarding date of planning committee and extension of time.
- With this application and the applications at Aviator Park, I have lost all privacy for my garden and parts of the house.
- Will taller fences be placed in mainly Krome House?
- Will cars be parked next to my garden fence with engine running? Can they be asked to park the car nose to fence to reduce pollution into my back garden?

7. PLANNING CONSIDERATIONS

- 7.1 In the determination of this application regard must be had to the Development Plan and National policy within the NPPF. The application site is located within the urban area where the principle of such development is considered to be acceptable subject to detailed consideration. This must be considered in light of the presumption in favour of sustainable development advocated by the NPPF. The key planning matters are townscape quality in respect of visual impact and residential amenity.
- 7.2 The proposed fenestration alterations will take place solely at the rear of the building and will not be visible along Station Road but will be visible from Garden Close. The windows are consistent in their size and design and will have a dark frame to match the appearance of the existing building therefore it is considered the development will not dominate the overall appearance of the rear elevation and will maintain the character and appearance of Addlestone town centre in accordance with Policy EE1.
- 7.3 Regarding neighbouring amenity, the original scheme proposed clear glazed replacement windows at first floor level, with the proposed roof level window also clear glazed. In consideration of the close proximity of neighbouring dwellings at Garden Close to the rear, and taking into consideration the letters of objection received, Officers raised concerns with the applicant regarding overlooking and loss of privacy to these neighbouring dwellings from the first floor and roof level windows. An amended scheme was submitted which proposes to obscurely glaze these windows to a height of 1.8m from the finished floor level with a small clear glazed openable panel above. It is considered that subject to a condition to secure the proposed obscure glazing and fixed shut lower panels, the proposed changes to the windows would maintain the privacy of neighbours. As detailed in the planning history, prior approval has previously been granted for the conversion of the existing retail/office uses of the building however these permissions have not been implemented and is confirmed by the plans submitted. The windows are therefore as presented in the application still serving retail and office uses. It is considered that the windows proposed, with obscure glazing and limited opening panels would provide a reasonable internal environment for the users of the commercial spaces, and are considered to balance the need for ventilation whilst protecting the privacy of neighbouring dwellings to the rear. Concerns have been raised in letters of representation regarding the existing roof level windows being clear glazed. However these are existing and are not proposed to be altered in any respect as part of this application. Therefore there would be no change in the relationship between the users of the top floor of the buildings and the neighbouring residential occupiers and it would be unreasonable to impose a requirement for the applicant to change the glazing on these top windows. It is therefore considered that the new window scheme as amended with obscure glazing to a high cill level protects the privacy and amenity of neighbouring dwellings and overall, in compliance with Policy EE1.

8. PLANNING OBLIGATIONS/COMMUNITY INFRASTRUCTURE LEVY(CIL)

- 8.1 The proposal is not increasing the floorspace of the building and is therefore not CIL liable.

9. EQUALITY AND HUMAN RIGHTS CONSIDERATIONS

- 9.1 Consideration has been given to Articles 1 and 8 of the First Protocol of the European Convention on Human Rights. It is not considered that the decision would result in a violation of any person's rights under the Convention.

Consideration has been given to s149 of the Equality Act 2010 (as amended), which has imposed a public sector equality duty that requires a public authority in the exercise of its functions to have due regard to the need to:

- Eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act

- Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
- Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

It is considered that the decision would have regard to this duty.

10. CONCLUSIONS

- 10.1 The proposed alterations to the fenestration of the commercial building, as amended, would maintain the townscape character of Addlestone town centre, and protect the privacy of neighbouring residential occupiers. The development has been assessed against the following Development Plan policies – EE1 of the Runnymede 2030 Local Plan, the policies of the NPPF, guidance in the PPG, and other material considerations including third party representations. It has been concluded that the development would not result in any harm that would justify refusal in the public interest. The decision has been taken in compliance with the requirement of the NPPF to foster the delivery of sustainable development in a positive and proactive manner.

11. FORMAL OFFICER RECOMMENDATION

The CHDMBC be authorised to grant planning permission subject to the following planning conditions:

1. Full application (standard time limit)

The development for which permission is hereby granted must be commenced not later than the expiration of three years beginning with the date of this permission.

Reason: To comply with Section 51 of Part 4 of the Planning and Compulsory Purchase Act 2004.

2. List of approved plans

The development hereby permitted shall not be carried out except in complete accordance with the following approved plans:

Received 19/03/2021: 692-P300 RevB Received
27/01/2021: ST/B1/RES/004; 692-P03

Reason: To ensure high quality design and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance in the NPPF.

3. External materials (as approved plan)

The development hereby permitted shall be constructed entirely of the materials, details of which are shown on plan no. 692-P300 RevB.

Reason: To ensure high quality design and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF

4. Obscure glazing

Before the first occupation of the building hereby permitted, the first floor and roof level windows in the rear elevation (as shown on plan 692-P300 RevB) shall be fitted with obscured glazing (at Pilkington Glass Level 4 or equivalent) and any part of the windows that are less than 1.7 metres above the floor of the room in which they are installed shall be non-opening and fixed shut. The windows shall be permanently retained in that condition thereafter.

Reason: To avoid overlooking into the adjoining property and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.





Date: 02/06/2021

St Johns Church, Egham

Runnymede Borough Council
Runnymede Civic Centre
Station Road
Addlestone
Surrey KT152AH



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Scale: 1:2,000

0 40 80 m

RU.20/0874

APPLICATION REF:	RU.20/0874
LOCATION	St Johns Church High Street Egham TW20 9HL
PROPOSAL	Erection of 4 non-illuminated replacement free standing signs within the church grounds and car park areas
TYPE	Advertisement
EXPIRY DATE	10 August 2020
WARD	Egham Town
CASE OFFICER	Adam Jackson
REASON FOR COMMITTEE DETERMINATION	Delegated authority not available due to the number of letters of representation.
<i>If you have questions about this report please contact Ashley Smith, Christine Kelso or the case officer.</i>	

1. SUMMARY OF RECOMMENDATION

It is recommended the Planning Committee authorises the CHDMBC:	
1.	Grant advertisement consent subject to the conditions set out in section 9 of this report.

2. DETAILS OF THE SITE AND ITSSURROUNDINGS

- 2.1 The application site is the grounds of St Johns Church, Egham, which is a Grade II* Listed Building. The application site is on the corner of Manor Farm Lane to the east and the High Street to the north, and is located within the Egham Town Centre Conservation Area. The application site is approximately 0.9ha and also includes a Grade II* Listed Lychgate, which is located north west of the church and faces onto the High Street; a number of Grade II Listed Tombs and Headstones; and the St Johns Church Centre, which is a modern 2 storey building to the south of the church, approved in 2011, and connected to St Johns Church via a glazed link. To the south of the Church Centre is the car park. Residential properties abut the western and southern boundaries.
- 2.2 There are currently 4 signs within the Church grounds, which provide information about the church and timings for services. The current signs are blue with white writing and are adorned with the current church logo. The signs are located by the southern car park (sign 1), either side of the Lychgate (signs 2 and 3) and by the north west pedestrian access (sign 4).

3. APPLICATION DETAILS

- 3.1 The application proposes to replace the existing signs with 4 new signs. The new signs are painted grey with black writing and a new red St Johns logo. The signs are located approximately in the same position as those which they are replacing, except for sign 3 which is being moved closer to the Lychgate.
- 3.2 The size of the signs are as follows:
- Sign 1 – 1200mm x 1185mm (height from ground to base of sign – 1350mm)
 - Sign 2 – 1200mm x 1500mm (height from ground to base of sign – 1050mm)
 - Sign 3 – 1800mm x 1200mm & 1800mm x 200mm for each slip (height from ground to base of sign 1250mm)
 - Sign 4 – 1300mm x 1200mm (height from ground to base of sign 1250mm)
- 3.3 The height of each sign includes the logo/curved part at the top of the sign.

- 3.4 Amended plans have been received during the course of the application reducing the number of signs from 7 to 4 and changing the proposed colour scheme.

4. RELEVANT PLANNING HISTORY

- 4.1 The following recent planning history is:

Reference	Details	Decision
RU.93/0889	Erection of 2 wooden sheds for storage.	Grant Consent - subject to conditions (16/12/1993)
RU.96/0309	Provision of two portakabin units to provide temporary Sunday school accommodation for church youth groups for a four year period. (Revised siting, plans received 15.8.96).	Grant Consent - subject to conditions (28/08/1996)
RU.96/0910	Remodelling of external access to west entrance doors and associated external works.	Grant Consent - subject to conditions (23/12/1996)
RU.98/0416	Remodelling of the external access to west entrance doors and associated external works.	Grant Consent - subject to conditions (08/06/1998)
RU.99/1352	Renewal of RU.96/0309 to allow retention of Portakabins for a further period of 3 years.	Grant Consent - subject to conditions (09/02/2000)
RU.02/1212	Renewal of RU.99/1352 to allow retention of 2 portakabins for a further period of 3 years.	Grant Consent - subject to conditions (06/01/2003)
RU.09/1080	Erection of a 1.2 metre boundary fence, gazebo and bench.	Grant Consent - subject to conditions (21/01/2010)
RU.09/1081	Listed Building Consent for erection of a 1.2 metre boundary fence, gazebo and bench.	Grant Consent - subject to conditions (21/01/2010)
RU.13/0558	Construction of external steps and landing to N.E. vestry door with railings and handrails; construction of steps and landing to S.E. Vestry door with handrails and posts; new handrails to crypt steps on South Elevation.	Grant Consent - subject to conditions (21/08/2013)
RU.14/1098	Listed Building Consent for Installation of two pairs of external forged steel handrails at north vestry steps and at south crypt steps.	Grant Consent - subject to conditions (08/09/2014)
RU.05/1111	Renewal of RU.02/1212 to allow retention of 2 portacabins for a further period of 3 years.	Grant Consent - subject to conditions (15/12/2005)
RU.10/0098	Advertisement consent for the erection of 4 non-illuminated replacement free standing signs and two non-illuminated free standing signs.	Grant Consent - subject to conditions (31/03/2010)
RU.11/1029	Erection of 2 storey Church Centre incorporating glazed link to Grade II* Listed Church and part single storey, part two storey extension to existing church following demolition of existing Church Centre and existing lean to extension on eastern side of existing Church. Ancillary works to include landscaping works and relocation of existing children's play area. (Supporting statement, details of signage and means of enclosure provided on 31st January 2012).	Grant Consent - subject to conditions (09/03/2012)
RU.15/0053	Application for the proposed discharge of planning conditions 2 (External Materials, surfacing materials and means of	Split decisions for Discharge of conditions (08/07/2015)

	enclosure), 3 (Windows), 4 (Rainwater goods), 5 (Junction with existing building), 6 (retaining walls), 7 (hard landscaping), 8 (soft landscaping), 9 (Programme of archaeological work), Condition 10 (Details of the method and programme of works for the protection, recording, restoration and relocation of the existing tombs and burial stones, including their relocation), Condition 11 (Details of the symbolic or written reference to the church on the eastern elevation), Condition 18 (Tree Protection) and condition 23 (external signage) under application RU.11/1029 for the erection of a two storey churchcentre.	
RU.15/1166	Discharge of Condition 12 (Surface Water Drainage) and Condition 3 (Window configuration) of planning approval RU.11/1029 (Erection of 2 storey church centre incorporating glazed link to Grade II* Listed church and part single storey, part 2 storey extension to existing church following demolition of existing church centre and existing lean to extension on eastern side of existing church. Ancillary works to include landscaping works and relocation of existing children's play area).	Approve (02/10/2015)
RU.15/1532	Proposed revisions to RU.11/1029 to include the installation of new roof plant to the approved new church centre.	Grant Consent - subject to conditions (13/11/2015)

5 SUMMARY OF MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

- 5.1 National Planning Policy Framework and Guidance.
- 5.2 The Runnymede 2030 Local Plan was adopted on 16 July 2020 and the policies have to be read as a whole. Any specific key policies will be referred to in the planning considerations.

6. CONSULTATIONS CARRIED OUT

6.1 Consultees responses

Consultee	Comments
Conservation Officer	<p>I have no problems with the replacement signs, they are similar to the originals but reflect the new logo. I have no adverse comments (July 2020)</p> <p>There has been a large modern extension to this Grade II* building within the last few years. I think these signs are proportionate and well designed and sited. I have no adverse comments (September 2020)</p> <p>The church is a very busy and thriving community hub and has recently completed a huge community facility in the grounds. These signs are proportionate and informative and will in no way harm the</p>

	setting of the listed building (September 2020 – In response to latest amended plans)
County Highway Authority	<p>The proposed signage will not be located on, or overhanging, Highway land. In addition, it is not anticipated that any will fall within the visibility splays associated with or near the site. The Highways Authority therefore has no highway requirements (July 2020)</p> <p>The County Highway Authority has assessed the updated plans, and considers the alterations to the signage will not result in a change in impact on the local highway network compared to that previously assessed (October 2020 – In response to latest amended plans)</p>

Representations and comments from interested parties

6.2 69 Neighbouring properties were consulted in addition to being advertised on the Council's website and 7 letters of representation have been received in regard to the original scheme and a further 3 letters following the receipt of amended plans, which can be summarised as follows:

- The signs will negatively impact the conservation area
- The signs will negatively impact the listed building
- The signs are too close to the listed Lychgate
- The signs aren't appropriate for the green environment
- There are too many signs
- The bright red colour and white colour scheme stands out too much
- The signs look too much like traffic signs
- It is not clear which signs are being replaced

Following the receipt of amended plans:

- The bright red, black/grey and white design still remains
- The colours are inappropriate for the conservation area and greenspace
- Sign 3 is too close to the Lychgate

7. PLANNING CONSIDERATIONS

7.1 In the determination of this application regard must be had to the Development Plan and National policy within the NPPF. The application site is located within the urban area where the principle of such development is considered to be acceptable subject to detailed consideration. This must be considered in light of the presumption in favour of sustainable development advocated by the NPPF. The key planning matters are:

- The impact on the character of the area and the Conservation Area
- The impact on the setting of the Listed Building
- Highway impacts

7.2 The application site is located within the Egham Town Centre Conservation Area, and there are a number of listed buildings and structures on site, including St John's Church, the Lychgate, and several tombs and headstones.

7.3 Policy EE3 of the Runnymede 2030 Local Plan which is consistent with the National Planning Policy Framework (NPPF) seeks to protect, conserve, and enhance heritage assets within the Borough. Policy EE4 also sets out that considerable weight will be given to the protection of a listed building and its setting, and EE5 sets out that developments affecting the setting of a Conservation Area should protect, conserve, and wherever possible enhance its special

interest, character and appearance. More generally policy EE1 requires all development to achieve high quality design which responds to the local context.

- 7.4 The application is for 4 x free-standing, non-illuminated signs within the grounds of St John's Church to replace the existing 4 x free standing, non-illuminated signs. Amended plans have been received during the application, following concerns from officers regarding the number of signs, their size, and the proposed colourscheme.
- 7.5 The total number of signs has now been reduced from 7 to 4. This means that there are now no new signs, and all the signs are replacements. The signs are proposed at the entrance to the southern car park, either side of the Lychgate adjacent the High Street, and by the pedestrian entrance in the north west corner of the site. Each replacement sign is of a similar size and in approximately the same location as the sign it is replacing, except for sign 3 which is closer to the Lychgate. Changes have also been made to the colour scheme, replacing the 'brilliant white' with a more muted grey, although a slightly brighter shade of red has also been chosen for the logo. Following the submission of the amended plans, signs 2 and 4 have increased slightly in size, however sign 1 has been dramatically reduced in size. Sign 3 is staying the same size.
- 7.6 Overall, the amount of signage has been reduced and the colour palette has become more muted, with the main colour being changed from 'brilliant white' to grey. The signs are proportionate and sympathetic and would not appear unduly prominent when compared to the existing signs and would not appear out of place within the Church grounds. Sign 3 is set closer to the listed Lychgate, however it is not considered to detract from this structure. The Council's Conservation Officer has commented on the application and has confirmed that he has no objections to the proposal, and the proposed signs will in no way harm the setting of the listed building. In conclusion, it is considered that the proposed replacement signs would maintain the significance of the listed buildings and structures on site and would protect and conserve the setting of the Conservation Area in accordance with policies EE4 and EE5 of the Runnymede 2030 Local Plan. No harm would be caused to the overall character of the area in accordance with policy EE1.
- 7.7 The County Highways Authority has commented on the application and has confirmed that the signs are not on, nor do the overhang highways land. The County Highways Authority had also confirmed that the signs would not interfere with existing visibility splays within the area, and would not therefore impact on highway safety.

8. EQUALITY AND HUMAN RIGHTS CONSIDERATIONS

- 8.1 Consideration has been given to Articles 1 and 8 of the First Protocol of the European Convention on Human Rights. It is not considered that the decision would result in a violation of any person's rights under the Convention.

Consideration has been given to s149 of the Equality Act 2010 (as amended), which has imposes a public sector equality duty that requires a public authority in the exercise of its functions to have due regard to the need to:

- (a) Eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
- (b) Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
- (c) Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

It is considered that the decision would have regard to this duty.

9. FORMAL OFFICER RECOMMENDATION

The CHDMBC be authorised to grant planning permission subject to the following planning conditions:

1. Advertisement (time limit)

- a. This consent is for a limited period of 5 years from the date of the consent hereby granted and the advertisement shall be removed by 08/06/2025 unless otherwise agreed in writing by the Local Planning Authority (LPA).
- b. No variations from the deposited plans and particulars will be permitted unless previously authorised in writing by the LPA.
- c. All advertisements displayed, and any site used for the display of advertisements, shall be maintained in a clean and tidy condition.
- d. Any hoarding or similar structure, or any sign, placard, board or device erected or used principally for the purpose of displaying advertisements shall be maintained in a safe condition.
- e. Where any advertisement is required under these Regulations to be removed, the removal thereof shall be carried out to the reasonable satisfaction of the LPA.
- f. No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.
- g. No advertisement shall be sited or displayed so as to obscure or hinder the ready interpretation of any road traffic sign, railway sign or aid to navigation by water or air, or so as otherwise to render hazardous the use of any highway, railway, waterway (including any coastal waters) or aerodrome (civil or military).

Reason: To comply with Regulation 14 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007, and with the terms of the application and to ensure that the temporary sign is removed in the interests of amenity.

2. List of approved plans

The development hereby permitted shall not be carried out except in complete accordance with the following approved plans and documents:

- Location Plan (160), received 4th January 2021
- Layout Plan, received 4th January 2021
- Sign 1 (1 of 4), dated 17th December 2020, and received 4th January 2021
- Sign 2 (2 of 4), dated 17th December 2020, and received 4th January 2021
- Sign 3 (3 of 4), dated 17th December 2020, and received 4th January 2021
- Sign 4 (4 of 4), dated 17th December 2020, and received 4th January 2021
- Photos of proposed signs on site, received 4th January 2021.

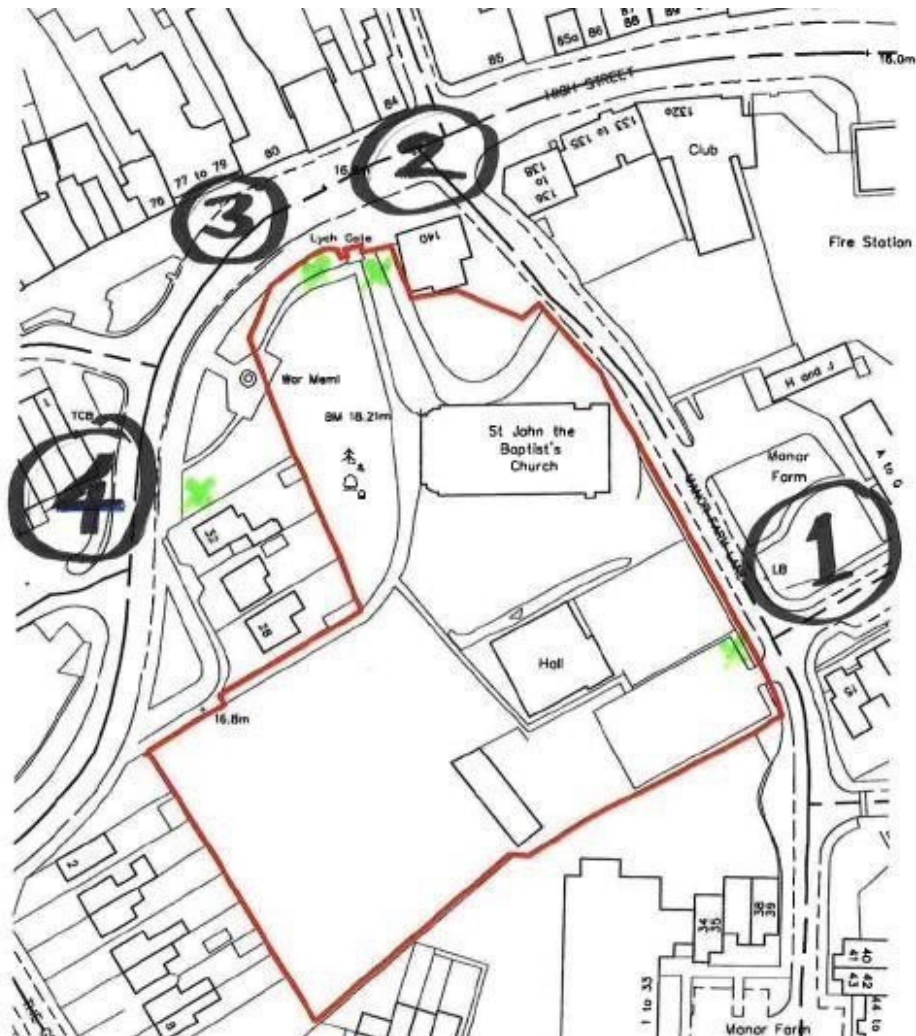
Reason: To ensure high quality design and to comply with Policy EE1, EE3, EE4 and EE5 of the Runnymede 2030 Local Plan and guidance in the NPPF.

3. Existing signs

The existing signs as shown on the existing signs document, received 15th June 2020 shall be removed in their entirety following the erection of the signs hereby approved. The removal of the existing signs shall be carried out to the reasonable satisfaction of the LPA.

Reason: To ensure high quality design and to preserve the character and appearance of the conservation area and the setting of the listed buildings and structures in compliance with policies EE1, EE3, EE4 and EE5 of the Runnymede 2030 Local Plan and guidance in the NPPF.

Location Plan



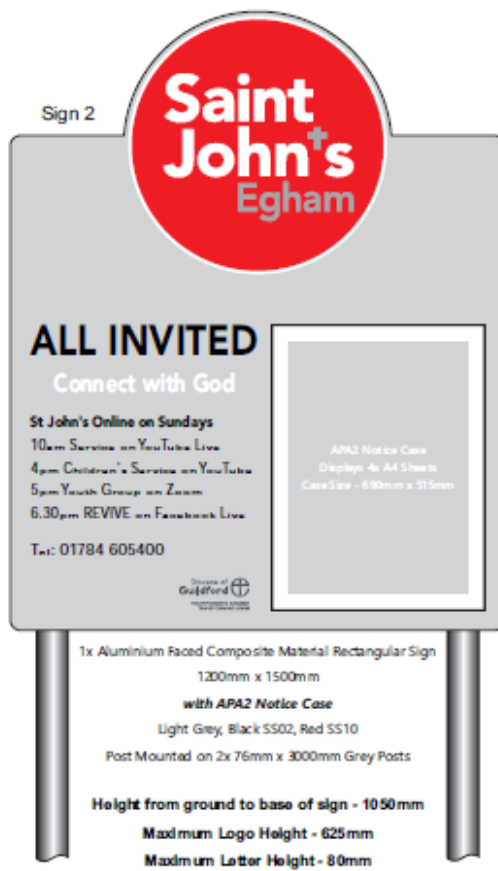
Site Plan



Sign 1



Sign 2



Sign 3



Sign 4

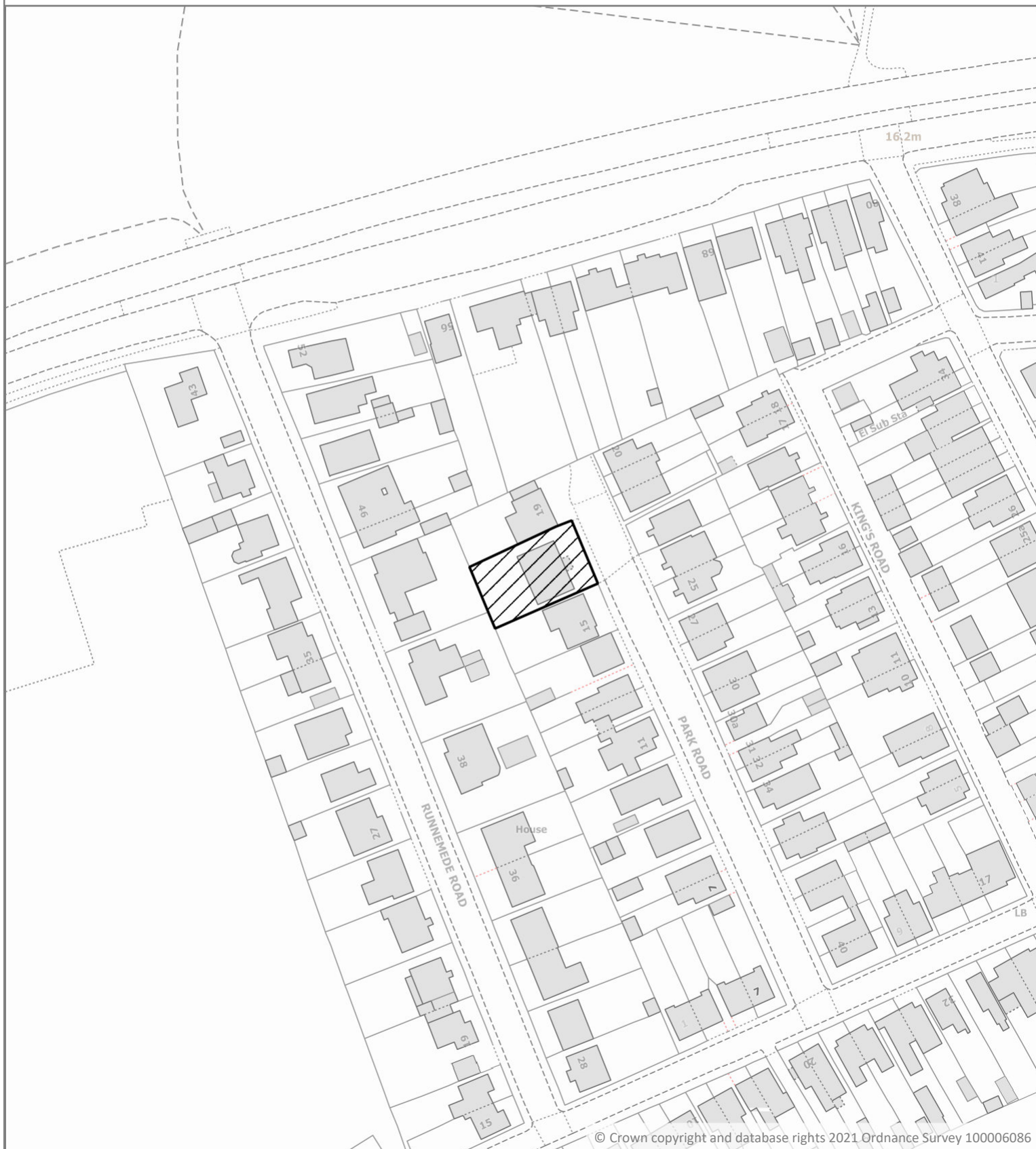




Date: 02/06/2021

17 Park Road, Egham

Runnymede Borough Council
Runnymede Civic Centre
Station Road
Addlestone
Surrey KT152AH



Scale: 1:1,250

0 20 40 m

RU.21/0530

APPLICATION REF:	RU.21/0530
LOCATION	17 Park Road Egham TW20 9BJ
PROPOSAL	Conversion of house to 4x 1 bedroom flats and single storey rear extensions.
TYPE	Full Planning Permission
EXPIRY DATE	03 June 2021
WARD	Egham Town
CASE OFFICER	Ruth Menezes
REASON FOR COMMITTEE DETERMINATION	LISTED BY CHDMBC
<i>If you have questions about this report please contact Ashley Smith, Christine Kelso or the case officer.</i>	

1. SUMMARY OF RECOMMENDATION

It is recommended the Planning Committee authorises the CHDMBC:	
1.	To grant planning permission subject to conditions.

2. DETAILS OF THE SITE AND ITSSURROUNDINGS

- 2.1 The application site is a two-story detached dwelling located on the west side of Park Road within the urban area of Egham. The property has off-street parking to the front for 4 cars and has an enclosed garden and raised decked area to the rear. The site is located within flood zone 2

3. APPLICATION DETAILS

- 3.1 The applicant seeks permission for the conversion of the existing house to 4x1 bedroom flats. All flats have a double bedroom, the two flats on the first floor also provide a study and have the benefit of additional access to loft storage. There are no external changes to the building other than the relevant boxes for services/utilities. Four parking spaces are present to the front of the building with electrical charging points, bins are to be located to the side of the property along with cycle spaces for 8 bikes. The property would have a rear shared garden for all the flats.
- 3.2 Rear extensions are proposed for the ground floor flats these extend over the existing raised patio areas. According to the submitted plans the depth would be 2m, width 4.9m and height 3.4m with a flat roof.
- 3.3 The applicant has provided a Flood Risk Assessment and addendum to the Flood Risk Assessment which concludes that a safe egress route with a very low hazard from the site to a safe place in Flood Zone 1 up to and including the design flood event. Additionally the applicant has provided evidence that the single storey extensions do not extend the existing footprint of the property and therefore flood water will not be displaced as a result of the proposal and the development will not have an adverse effect upon flood risk.

4. RELEVANT PLANNING HISTORY

- 4.1 The following history is considered relevant to this application:

Reference	Details
RU.19/1779	Conversion of house to 4x1 bedroom flats (further amended plans 10/11/20) Refuse Reason for refusal: <i>The proposal fails to meet the minimum acceptable space standards set out in adopted policy with a significant shortfall in internal floor space, the resulting units would fail to provide an adequate level of residential amenity to the detriment of future occupants of the flats, contrary to Policy SL19 of the Runnymede 2030 Local Plan and the NPPF.</i>
RU.19/0053	Conversion of dwellings to 4 self-contained units for independent short-term rental bookings. Refuse Reason for refusal: <i>The proposal by reason of the proposed change from a single residence (C3) to x4 short term let units (C1) would cause harm to the existing residential amenities of neighbouring properties and would fail to improve the character and quality of the area and result in a loss of C3 use and would be contrary to saved policies H01, H02 and H09 of the Runnymede Borough Local Plan Second Alteration 2001 and guidance in the NPPF. The applicant appealed against this decision and the appeal was dismissed.</i>
RU.15/2089	Discharge of conditions relating to RU.15/1365. Grant
RU.15/1365	Erection of a detached two storey dwelling to replace recently demolished house. Grant
RU.14/0455	Demolition of existing and 2x semi-detached two storey dwelling houses and integral garages Withdrawn
RU.13/1170	Demolition of existing and 2x semi-detached two storey dwelling houses and integral garages Refuse –
RU.06/0834	Retrospective application for change of use from single residential use to multi-occupancy use (8 persons) Refuse- Appeal allowed

5 SUMMARY OF MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

- 5.1 National Planning Policy Framework and Guidance.
- 5.2 The Runnymede 2030 Local Plan was adopted on 16 July 2020 and the policies have to be read as a whole. Any specific key policies will be referred to in the planning considerations.
- 5.3 SPGs which might be a material consideration in determination: Householder Guide SPG

6. CONSULTATIONS CARRIED OUT

6.1 Consultees responses in summary:

Consultee	Comments
1. Comments Date	06/05/21
RBC Deputy Direct Services Manager	Comments received regarding bin size and collection location. General points of advice for the developer also received.
RBC Drainage Engineer	States that comments made on 29/09/2020 for the previous application (RU.19/1779) still stand. Additionally that there were no concerns over the extensions at the rear which have the same FFL (17.45m AOD) as

RBC	in the existing house which is 0.61m higher than the designed flood level. Further clarification by the case officer was sought on voids within the extension elements, no voids are required as footprint remains unaltered.
RBC Environmental Health Manager	No comments received
SCC County Highway Authority	States that the site provides parking for the flats and that the site lies within a sustainable location with regards to Egham centre and local services. Further clarification by the case officer was sought on the addition of the 4 electrical charging points now proposed and cycle storage facility. SCC confirm the electrical charging points are satisfactory and that the provision of 8 cycle storage facilities are acceptable providing additional details as to covering and lighting is sought by condition.

Representations and comments from interested parties

6.2 8 Neighbouring properties were consulted in addition to being advertised on the Council's website and 10 letters of representation have been received from 8 properties, including one letter from the Egham Residents Association which can be summarised as follows:

- ☐ Query over number of bins required.
- ☐ Concern over RBC drainage comments on a previous application.
- ☐ Concern as to how 4 flats can be justified if 2 houses were previously refused.
- ☐ Increase levels of noise as house could be re-purposed for multiple short term lets.
- ☐ Increase demand for parking along Park Road.
- ☐ Safety/security concern for nearby families as short-term residents are harder to locate/identify.
- ☐ Applicant does not live in the house or nearby.
- ☐ A block of flats is not in keeping with Park Road which comprises houses/bungalows.
- ☐ Parking will exacerbate manoeuvre problems for dustcart.
- ☐ Not enough parking provided.
- ☐ Egham gateway provides enough flats for Egham, Egham needs family houses.
- ☐ High density units in quiet residential areas cause issues of congestion, parking, bins noise and conflict with long-term residents.
- Other HMO's exist in Park Road, this proposal will exacerbate existing problems.
- ☐ Administration errors on accompanying forms, including description should be retrospective and the CiL form should not be filled in as 'house in use'.
- ☐ Councils Enforcement Officers have a duty to enforce.
- ☐ Concern flats could be used by students.

7. PLANNING CONSIDERATIONS

- 7.1 In the determination of this application regard must be had to the Development Plan and National policy within the NPPF. The application site is located within the urban area where the principle of such development is considered to be acceptable subject to detailed consideration. This must be considered in light of the presumption in favour of sustainable development advocated by the NPPF. The key planning matters are whether the conversion of the building to flats along with the extensions to the ground floor flats overcomes the reasons the previous application (RU.19/1779) was refused, the impact upon the character of the area, standard of amenity for new occupiers, and impact on neighbouring amenities and flooding and highways matters are also a consideration.
- 7.2 RU.19/1779 was refused by planning committee on the 20 Jan 2021. The reason for refusal was *The proposal fails to meet the minimum acceptable space standards set out in adopted policy with a significant shortfall in internal floor space, the resulting units would fail to provide an adequate level of residential amenity to the detriment of future occupants of the flats, contrary to Policy SL19 of the Runnymede 2030 Local Plan and the NPPF.* Policy SL19 states that the internal floor area for a 2-person 1 bedroom flat requires 50sqm + 1.5sqm storage (51.5sqm total) to meet the Nationally Described Space

Standards. Application RU.19/1779 depicted a shortfall of 5.5sqm in the two ground floor flats whereas the first-floor flats showed compliance with the policy (see drawing reference 1630-07). The first floor flats also have access to storage space within the loft. The applicant has sought to overcome the shortfall in floor space for the ground floor flats by extending to the rear of both at single storey, above the existing raised patio area. In so doing the floor area of the ground floor flats now also meet the space standard criteria and the proposal complies with SL19.

- 7.3 It is noted that neighbours raise concern about the nature of flats in the road and the impact of this on the character of the area. As such it is relevant to re-iterate the findings within the case officers previous report for RU.19/1779 with regards to this matter, as follows: The existing site received permission under RU.15/1365 for the erection of a replacement 4 bedroom dwelling house, which was constructed. However, the dwelling was subsequently converted to four flats with parking and a shared garden. This application is therefore retrospective. The flats remain unoccupied pending the decision of this planning application. Park Road is a residential road, located within the urban area and comprising either detached or semi-detached dwelling houses of a varying style. Some properties within the road are let to students. It is noted that the recent refusal (RU.19/0053) and its associated appeal dismissal (APP/Q3630/W/19/3225843) appears similar to the proposal, being for 4 flats and one of the grounds for refusal was the change to the character of the area. In considering this matter it should be noted that whilst RU.19/0053 was for 4 flats these were specifically for short term lets (ie likely 3 monthly), requiring servicing such as cleaning and putting bins out along with regular management of these flats, booking in/out and general maintenance. The appeal decision concluded that such a use would be harmful to the character of the area. The appeal inspector stated 'there would be no changes to the external appearance of the property so the outward character would remain a dwelling, which would be in keeping with the residential character of the road. ...But the short-term transient nature and frequency of four sets of new independent occupiers would mean they had little connection to the local area and little likelihood of contributing to the sense of community, even when compared to an HMO or shared house. This would have a negative effect on the character of the area, which would be compounded by the increased noise and disturbances and comings and goings'. The current proposal is for use of the building for 4 flats in independent residential use, within Class C3. This is substantially different in use and character from the appeal proposal and would not introduce the harmful impacts that the Inspector agreed would result from the short term lets. The outward appearance of the building would remain unchanged to the front, and the use of the building as residential flats would maintain the existing residential character of the area in accordance with Policy EE1 in this regard. It is therefore considered that the current proposal overcomes the appeal inspector's concerns in this respect.
- 7.4 As with RU.19/1779, neighbouring amenity with regards to noise and disturbance arising from the flats has been raised as a concern by residents. The previous application RU.19/0053 was refused due to the transient nature of residents for short term lets which was considered to increase noise and disturbance by comings and goings of visitors and the management team for booking in, cleaning, maintenance and refuse/recycling management.. As the proposal is not for short term lets, it is considered that there would be no unneighbourly or unusual noise or disturbance arising from the occupation of the residential flats. It is therefore considered that the conversion to flats has addressed this previous concern, this was not raised as a matter of concern by the planning committee in the assessment of RU.19/1779. It is therefore considered that the proposal complies with Policy EE1 in this respect as well.
- 7.5 The proposal includes two, rear single storey extensions with a depth of approx. 2.9m. These would sit on the existing patio area serving both ground floor flats. Due to the separation distance to both neighbours the 60-degree splayline as identified within the Householder Guide would not be broken as a result of these extensions. As such there would be no overbearing caused to either neighbour. The applicant has depicted compliance with the splaylines on the submitted plans. The inclusion of the first-floor extensions over the existing raised patios ensures that the garden area is not compromised (footprint remains the same) and a suitable amenity space for occupiers of the flats would remain with access as existing via rear communal steps. The remainder of the application is as stands and windows would remain as constructed. The first floor flats have living areas to the rear and therefore there would be views from these living areas towards the rear gardens of properties within Runnemedde Road to the rear, in particular Nos. 40 and 42. However, there is a rear garden depth of 12m, and distances of 19-22m to the rear of the nearest neighbours in Runnemedde Road. It is considered that these distances, combined with boundary screening, would ensure that there would be no direct overlooking and loss of privacy to rooms or gardens of these neighbours. There would be far reaching views possible towards the rear gardens of the immediate neighbours, Nos 15 and 19 Park Road. However, there are no balconies proposed to serve the first-floor flats and therefore it is considered that there would be an acceptable relationship with the immediate neighbours, such that their amenities would not be harmfully affected in respect of privacy. The proposal is considered to accord with policy EE1 and the Householder Guide in relation to amenity and neighbouring amenity matters.

- 7.6 The site lies within an area that is subject to aircraft noise. Officers have sought advice from the Council's Environmental Health Officer, who had previously recommended (under RU.19/1779) that the flats should have appropriate noise insulation installed prior to the occupation of the flats which would avoid, mitigate or reduce noise impacts experienced from the overhead aircraft. This condition is still considered appropriate and will ensure the proposal complies with policy EE2 and achieve a good standard of amenity for the new occupiers.
- 7.7 An area to the front of the site next to the parking spaces is provided for space for refuse and recycling in accordance with the advice of the Council's Direct Services Manager. This space allows for bins to be pulled out to the front forecourt area for ease of collection. An informative gives information on the capacity of bins required for the flats. The proximity of the bin area to the neighbour at No 19 is noted, however it is observed that there are no windows located along the side flank of No 19 and the front ground floor opening serves a garage area. The location of the bins is considered acceptable and further details of the design and position of the bin storage area can be secured by condition.
- 7.8 Comments on parking matters raised by residents is noted. 4 car parking spaces are provided within the site frontage, one per flat which is considered to be a reasonable level of parking for the development and the location. The applicant also proposes a secure cycle storage facility for 8 bikes and details can be secured by condition. The County Highways Authority have reviewed the proposal and advise that the site is situated in a sustainable location being within reasonable walking distance to bus stops, shops, and other facilities. It is noted that the applicant has stipulated on the plans that 4 electric vehicle charging points will be provided and this will be secured by condition to ensure accordance with SCC standards. The proposal complies with policies SD4 and SD7.
- 7.9 With regards to flooding the applicant has provided a flood risk assessment and an addendum to include the rear extensions. The documents confirm that the site is within Flood Zone 2 (medium risk) and which shows that the building has been built with raised floor levels and flood resilient measures. The Council's Drainage Engineer has reviewed the FRA and its addendum and is satisfied that a suitable Flood Risk Management Plan (FRMP) can be put in place to ensure that future occupiers have a timely and safe means of escape. The Council's Drainage Engineer has also advised that as the footprint of the building remains the same, there would be no requirement for voids under the proposed rear single storey extensions. A condition is proposed requiring details of the (FRMP). The proposal is considered to accord to policy EE13.

8. PLANNING OBLIGATIONS/COMMUNITY INFRASTRUCTURE LEVY (CIL)

- 8.1 The application proposes new residential development. The applicant has confirmed the works result in less than 100 sqm of new gross internal area and therefore would not be liable for a Community Infrastructure Levy contribution.

9. EQUALITY AND HUMAN RIGHTS CONSIDERATIONS

- 9.1 Consideration has been given to Articles 1 and 8 of the First Protocol of the European Convention on Human Rights. It is not considered that the decision would result in a violation of any person's rights under the Convention.

Consideration has been given to s149 of the Equality Act 2010 (as amended), which has imposed a public sector equality duty that requires a public authority in the exercise of its functions to have due regard to the need to:

- ☐ Eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
- ☐ Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
- ☐ Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

It is considered that the decision would have regard to this duty.

10. CONCLUSIONS

- 10.1 The development is considered acceptable in terms of appearance and with no harmful impacts on existing or future residential amenities, the character of the area, highways matters and flooding

matters. The development has been assessed against the following key Development Plan policies – policies EE1, EE2, EE13, SL19, SD4 and SD7, of the Runnymede 2030 Local Plan, the policies of the NPPF, guidance in the PPG, and other material considerations including third party representations. It has been concluded that the development would not result in any harm that would justify refusal in the public interest. The decision has been taken in compliance with the requirement of the NPPF to foster the delivery of sustainable development in a positive and proactive manner.

11. FORMAL OFFICER RECOMMENDATION

Authorise the CHDMBC to grant planning permission subject to the following conditions.

1. Full application (standard timelimit)

The development for which permission is hereby granted must be commenced not later than the expiration of three years beginning with the date of this permission.

Reason: To comply with Section 51 of Part 4 of the Planning and Compulsory Purchase Act 2004.

2. List of approved plans

The development hereby permitted shall not be carried out except in complete accordance with the following approved plans CP-105-L100, 101, 102, 103, 104, 1630-01, 02, 03, 04, 06, 07 and documents, Planning Statement, FRA, FRA Addendum and Letter from Herrington Consulting Ltd 23rd Sept 20.

Reason: To ensure high quality design and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance in the NPPF.

3. External material (materials to match)

The development hereby permitted shall be completed with external materials of a similar appearance to those used in the construction of the exterior of the existing building to which it is attached.

Reason: To ensure high quality design and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.

4. Electric vehicle charging points (per dwelling)

In accordance with the details provided on plan 1630-01 four electric vehicle charging points shall be provided. As a minimum, the charge point specification shall be 7kW mode 3 with type 2 connector. The charging points shall be retained for the lifetime of the development.

Reason: To ensure sustainable design and to comply with Policy SD7 of the Runnymede 2030 Local Plan and guidance in the NPPF.

5. Sound insulation (from external noise)

Prior to the first occupation of any of the flats hereby approved, a fully detailed scheme for protecting the future occupiers from noise from overhead aircraft shall be submitted to and approved in writing by the Local Planning Authority. The scheme may comprise acoustic double/triple glazing with alternative ventilation if reliant on closed windows and any other means to protect the building from noise. The approved scheme shall be implemented in full and retained for the lifetime of the development.

Reason: To protect the occupants of the new development from noise disturbance and to comply with Policy EE2 of the Runnymede 2030 Local Plan and guidance within the NPPF.

6. Flood risk management and evacuation plan

Prior to the first occupation of any of the flats hereby approved, a Flood Risk Management Plan (FRMP) shall be submitted to and approved in writing by the Local Planning Authority. The FRMP shall provide a householder pack which shall include details of how this pack will be made available

to the first and subsequent occupiers, and include details of a safe escape route and the place that people can be evacuated to.

Reason: In the interests of the safety of future occupiers and to comply with Policy EE13 of the Runnymede 2030 Local Plan and guidance within the NPPF.

7. Prior to the first occupation of any of the flats hereby permitted, details of the siting, size and design of the refuse and recycling bin storage areas for the flats shall be submitted to and approved in writing by the Local Planning Authority. The refuse and recycling bin stores and facilities shall then be provided in accordance with the approved details prior to the first occupation of the development and retained thereafter.

Reason: In the interests of amenity, to provide adequate refuse and recycling facilities and provide satisfactory form of development and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance within the NPPF.

8. Parking and turning/retention of parking and turning

The vehicle parking at the premises (as shown on the application drawings) shall be permanently retained and maintained for their designated purpose(s).

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to comply with Policy SD4 of the Runnymede 2030 Local Plan and guidance within the NPPF.

9. Bike Storage

The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for bicycles to be parked in a secure, covered and lit location. Thereafter the parking area shall be retained and maintained for its designated purpose.

Reason: To encourage active and sustainable travel and to comply with Policy SD3 of the Runnymede 2030 Local Plan and guidance within the NPPF.

Informatives:

1. Summary of Reasons to Grant Consent

The decision has been taken in compliance with the requirement in the NPPF to foster the delivery of sustainable development in a positive and proactive manner.

2. Environment Agency Informative - "Preparing for a Flood"

The applicant is advised that this property lies within a floodplain. Practical advice on how to reduce flood damage to your property is available in a free document entitled "Preparing for a Flood" November 2007. Copies of "Preparing for a Flood" are available free of charge from the Environment Agency 24 hour "floodline" on 0845 988 1188 or on the Environment Agency website www.environment-agency.gov.uk/flood.

3. Environment Agency Informative (EA Floodplain Maps)

The Environment Agency's Indicative Floodplain Maps provide a general overview of areas of land in natural floodplains and therefore potentially at risk of flooding from rivers. To find out more information about where your property lies within the floodplain, investigate the Agency's website www.environment-agency.gov.uk under the "What's in your backyard?" pages. Additional information on the IFM can also be found on the website. Alternatively, contact the Environment Agency's Floodline on 0845 988 1188.

4. Permitted Development Rights - Flats

The applicant and potential occupiers are advised that the flats hereby approved do not have any permitted development rights.

5. Discharging of Planning Conditions

The applicant/developer is advised that there is a standard national form to be submitted to the Local Planning Authority when discharging the conditions specified in this decision notice.

6. Bins and Waste

The applicant should note for kerbside collection the bin allocation for each of the four units would be:

- 1x 140L refuse bin
- 1x 140L recycling bin
- 1x 23L outdoor food waste bin
- 1x 7L indoor food waste caddy

7. Kerbside collections

The applicant is advised by our Direct Services Officers that bins must be presented visibly and accessibly for kerbside collection at the boundary closest to the road used by Runnymede Borough Councils collection vehicles, any issues on the site would be the responsibility of the owner/occupiers and should have no impact on the kerbsideservice.

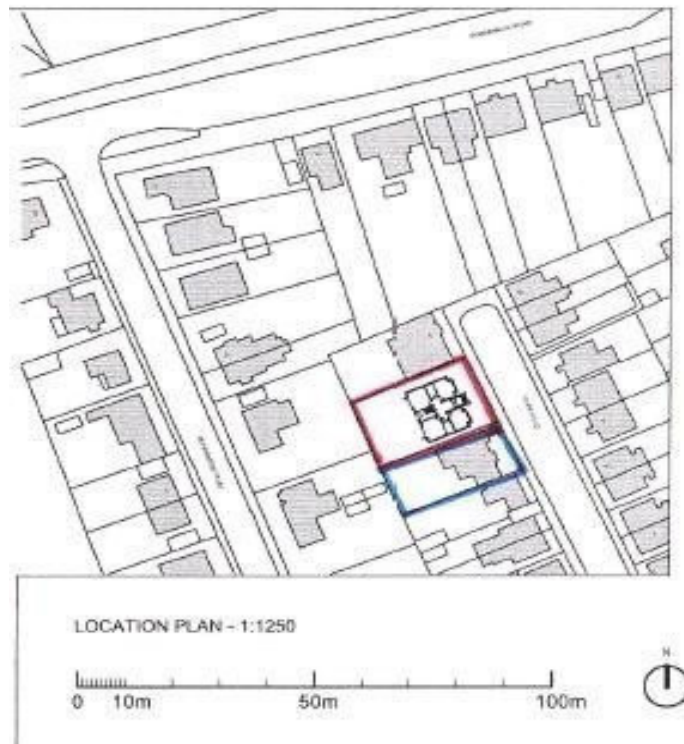
Bins are only emptied that have been presented for kerbside collection at the property boundary, and bins should not to be left on the public highway or where they impede, obstruct or endanger vehicular or pedestrian traffic.

8. Bin storage design

The applicants attention is drawn to the additional comments provided by the Direct Service Officers regarding bins, bin storage design and signage. These can be found online under the planning reference number of this application.

Park Road: RU.20/0530

Location Plan



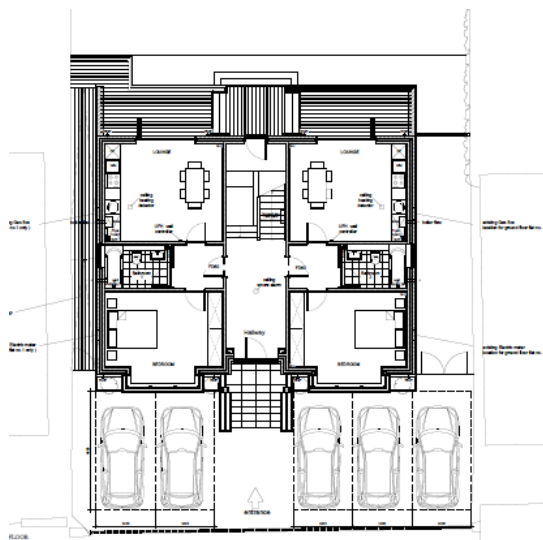
Existing Elevations



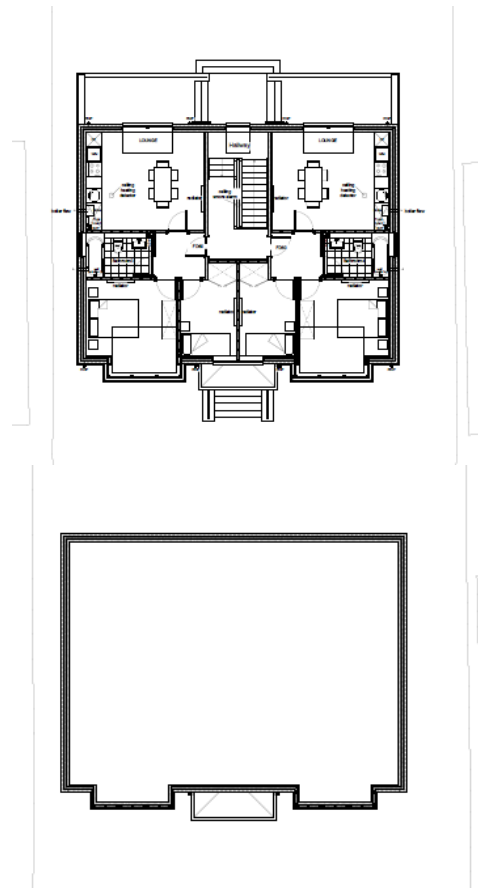
Proposed elevations:



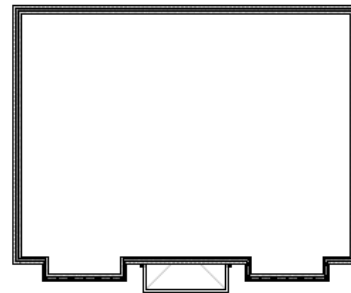
Existing Ground Floor



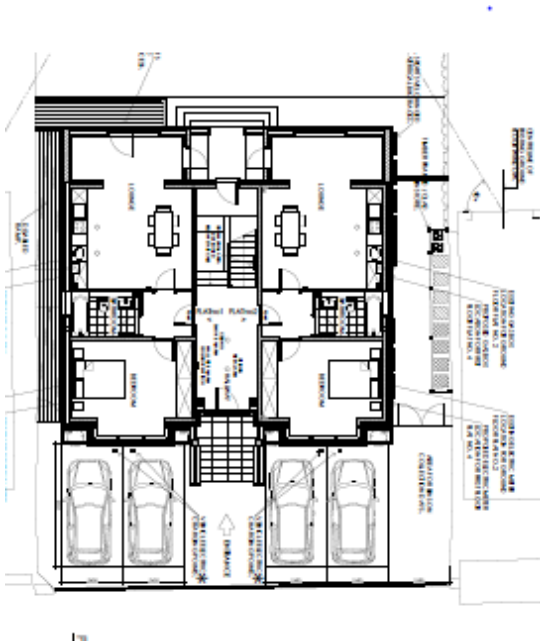
Existing First Floor



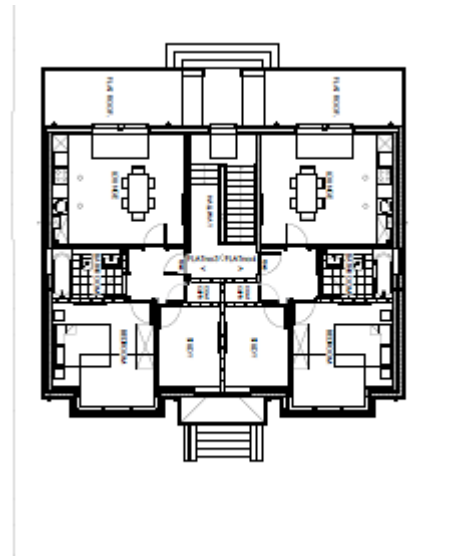
Existing Loft



Proposed Ground Floor



Proposed First Floor



Proposed Loft serving flat 3 and 4 (First floor flats)

